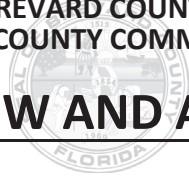


**BREVARD COUNTY  
BOARD OF COUNTY COMMISSIONERS**



# CONTRACT REVIEW AND APPROVAL FORM

## SECTION I - GENERAL INFORMATION

<b>1. Contractor:</b> The Viera Company & Central Viera Community Assoc.		<b>2. Amount:</b> 0.00
<b>3. Fund/Account #:</b> N/A	<b>4. Department Name:</b> Public Works	
<b>5. Contract Description:</b> Assignment and Assumption Agreement re: Stadium Parkway		
<b>6. Contract Monitor:</b> Jeanette Scott, Public Works Contracts Admin.		<b>8. Contract Type:</b>  USE AGREEMENT
<b>7. Dept/Office Director:</b> Marc Bernath, Public Works Director		
<b>9. Type of Procurement:</b> Other		

## SECTION II - REVIEW AND APPROVAL TO ADVERTISE

### APPROVAL

<u>COUNTY OFFICE</u>	<u>YES</u>	<u>NO</u>	<u>SIGNATURE</u>
User Agency	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Purchasing	<input type="checkbox"/>	<input type="checkbox"/>	_____
Risk Management	<input type="checkbox"/>	<input type="checkbox"/>	_____
County Attorney	<input type="checkbox"/>	<input type="checkbox"/>	_____

## SECTION III - REVIEW AND APPROVAL TO EXECUTE

### APPROVAL

<u>COUNTY OFFICE</u>	<u>YES</u>	<u>NO</u>	<u>SIGNATURE</u>
User Agency	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Thomas-Wood, Tammy <small>Digitally signed by Thomas-Wood, Tammy DN: cn=Thomas-Wood, Tammy, email=Tammy.Thomas-Wood@brevardt.gov Date: 2020.09.25 13:13:47 -0400</small>
Purchasing	<input type="checkbox"/>	<input type="checkbox"/>	_____
Risk Management	<input type="checkbox"/>	<input type="checkbox"/>	_____
County Attorney	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Esseesse, Alexander <small>Digitally signed by Esseesse, Alexander Date: 2020.09.24 16:51:04 -0400</small>

## SECTION IV - CONTRACTS MANAGEMENT DATABASE CHECKLIST

<b>CM DATABASE REQUIRED FIELDS</b>	<b>Complete ✓</b>
Department Information	<input type="checkbox"/>
Department	<input type="checkbox"/>
Program	<input type="checkbox"/>
Contact Name	<input type="checkbox"/>
Cost Center, Fund, and G/L Account	<input type="checkbox"/>
Vendor Information (SAP Vendor #)	<input type="checkbox"/>
Contract Status, Title, Type, and Amount	<input type="checkbox"/>
Storage Location (SAP)	<input type="checkbox"/>
Contract Approval Date, Effective Date, and Expiration Date	<input type="checkbox"/>
Contract Absolute End Date (No Additional Renewals/Extensions)	<input type="checkbox"/>
Material Group	<input type="checkbox"/>
Contract Documents Uploaded in CM database (Contract Form with County Attorney/ Risk Management/ Purchasing Approval; Signed/Executed Contract)	<input type="checkbox"/>
"Right To Audit" Clause Included in Contract	<input type="checkbox"/>
Monitored items: Uploaded to database (Insurance, Bonds, etc.)	<input type="checkbox"/>



# CONTRACT REVIEW AND APPROVAL FORM

## SECTION I - GENERAL INFORMATION

<b>1. Contractor:</b> The Viera Company & Central Viera Community Assoc.		<b>2. Amount:</b> 0.00
<b>3. Fund/Account #:</b> N/A	<b>4. Department Name:</b> Public Works	
<b>5. Contract Description:</b> Assignment and Assumption Agreement re: Stadium Parkway		
<b>6. Contract Monitor:</b> Jeanette Scott, Public Works Contracts Admin.		<b>8. Contract Type:</b>  USE AGREEMENT
<b>7. Dept/Office Director:</b> Marc Bernath, Public Works Director		
<b>9. Type of Procurement:</b> Other		

## SECTION II - REVIEW AND APPROVAL TO ADVERTISE

### APPROVAL

<u>COUNTY OFFICE</u>	<u>YES</u>	<u>NO</u>	<u>SIGNATURE</u>
User Agency	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Purchasing	<input type="checkbox"/>	<input type="checkbox"/>	
Risk Management	<input type="checkbox"/>	<input type="checkbox"/>	
County Attorney	<input type="checkbox"/>	<input type="checkbox"/>	

## SECTION III - REVIEW AND APPROVAL TO EXECUTE

### APPROVAL

<u>COUNTY OFFICE</u>	<u>YES</u>	<u>NO</u>	<u>SIGNATURE</u>
User Agency	<input type="checkbox"/>	<input type="checkbox"/>	
Purchasing	<input type="checkbox"/>	<input type="checkbox"/>	
Risk Management	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Lairsey, Matt
County Attorney	<input type="checkbox"/>	<input type="checkbox"/>	

Digitally signed by Lairsey, Matt  
Date: 2020.09.23 14:08:37 -04'00'

## SECTION IV - CONTRACTS MANAGEMENT DATABASE CHECKLIST

<b>CM DATABASE REQUIRED FIELDS</b>	<b>Complete ✓</b>
Department Information	<input type="checkbox"/>
Department	<input type="checkbox"/>
Program	<input type="checkbox"/>
Contact Name	<input type="checkbox"/>
Cost Center, Fund, and G/L Account	<input type="checkbox"/>
Vendor Information (SAP Vendor #)	<input type="checkbox"/>
Contract Status, Title, Type, and Amount	<input type="checkbox"/>
Storage Location (SAP)	<input type="checkbox"/>
Contract Approval Date, Effective Date, and Expiration Date	<input type="checkbox"/>
Contract Absolute End Date (No Additional Renewals/Extensions)	<input type="checkbox"/>
Material Group	<input type="checkbox"/>
Contract Documents Uploaded in CM database (Contract Form with County Attorney/ Risk Management/ Purchasing Approval; Signed/Executed Contract)	<input type="checkbox"/>
"Right To Audit" Clause Included in Contract	<input type="checkbox"/>
Monitored items: Uploaded to database (Insurance, Bonds, etc.)	<input type="checkbox"/>

## ASSIGNMENT AND ASSUMPTION OF RIGHT OF WAY USE AGREEMENT

(Stadium Parkway: North of Judge Fran Jamieson Way to DRI North Boundary)

THIS ASSIGNMENT AND ASSUMPTION OF RIGHT OF WAY USE AGREEMENT (this "**Assignment**") is dated as of September 25, 2020 (the "**Effective Date**") and is between THE VIERA COMPANY, a Florida corporation ("**Assignor**"), as assignor, and CENTRAL VIERA COMMUNITY ASSOCIATION, INC., a Florida not-for-profit corporation ("**Assignee**"), as assignee. BREVARD COUNTY, FLORIDA, a political subdivision of the State of Florida (the "**County**"), hereby joins in the execution of this Assignment.

### RECITALS

A. Assignor and the County entered into that certain Right of Way Use Agreement dated October 9, 2012 and that certain Amendment to Right-of-Way Use Agreement dated May 23, 2017 relating to Assignor's installation of landscaping, signage, hardscape, irrigation, traffic control devices (excluding traffic signals), and/or other related improvements along a portion of public right-of-way Stadium Parkway in Viera, Florida more particularly described in the agreement and amendment, with a copy of that agreement and amendment attached hereto as **Exhibit A** and incorporated herein by this reference (collectively, the "**Agreement**"); and

B. Assignor has completed the installation of the improvements to be installed by Assignor in the Premises, specifically Stadium Parkway from north of Judge Fran Jamieson Way to DRI North Boundary, under the Agreement and Amendment, and now desires to assign its rights, duties, and obligations arising from and after the Effective Date under the Agreement to Assignee as intended under the Agreement.

Now, therefore, in consideration of Ten and 00/100 Dollars (\$10.00), the mutual covenants and agreements hereinafter set forth, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged and accepted by Assignor and Assignee, Assignor and Assignee hereby agree as follows:

#### Section 1 - Recitals

The above recitals are true and correct and incorporated into this assignment by this reference.

#### Section 2 - Assignment and Assumption

Assignor hereby assigns to Assignee all of Assignor's rights and interest under the Agreement to Assignee that arise from and after the Effective Date. Further, Assignor hereby delegates to Assignee all of Assignor's duties and obligations under the Agreement that arise from and after

the Effective Date. Assignee hereby accepts the above-referenced assignment of rights and delegation of duties and obligations of Assignor under the Agreement and assumes all of the rights, duties, and obligations of Assignor under the Agreement that arise from and after the Effective Date. The foregoing assignment and delegation by Assignor to Assignee is in accordance with Section 11 of the Agreement. By its joinder in the execution of this Assignment, the County hereby consents to such assignment and delegation by Assignor to Assignee.

### Section 3 - Notice

Each notice, request, demand, and other communication delivered by a party under the Agreement to Assignee, as assignee of the Agreement, shall be addressed to Assignee at the following address unless otherwise advised by Assignee in writing:

Central Viera Community Association, Inc.  
Attention: Ms. Eva Rey, President  
7380 Murrell Road, Suite 201  
Viera, FL 32940

### Section 4 - Partial Invalidity

If any term or provision of this Assignment or the application thereof to any persons or circumstances shall, to any extent, be invalid or unenforceable, the remainder of this Assignment or the application of such term or provision to persons or circumstances other than those as to which it is held invalid or unenforceable shall not be affected thereby, and each term and provision of this Assignment shall be valid and enforceable to the fullest extent permitted by applicable law.

### Section 5 - Governing Law; Submission to Jurisdiction

This Assignment shall be governed by, and construed in accordance with, the law of the State of Florida applicable to contracts made within and to be performed within the State of Florida. The parties **exclusively** agree to submit to personal jurisdiction in any court of competent jurisdiction in and for Brevard County, Florida. In the event of any action to enforce the terms of this Assignment, each party shall bear its own attorney's fees and any trial shall be a non-jury trial.

### Section 6 - Counterparts

This Assignment may be executed in any number of counterparts, each of which shall be deemed to be an original, but all of which together shall constitute one and the same instrument. Any counterpart delivered by electronic transmission shall be deemed an original counterpart from the sending party.



IN WITNESS WHEREOF, Assignor and Assignee have signed this Assignment as of the date set forth on the first page of this Assignment:

WITNESSES:

Benjamin E. Wilson  
Name: Benjamin E. Wilson

Charlene R. Spangler  
Name: Charlene R. Spangler

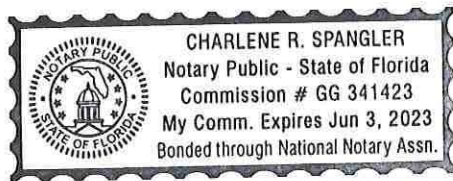
ASSIGNOR:

THE VIERA COMPANY,  
a Florida corporation

By: [Signature]  
Name: Todd J. Pokrywa  
Title: President  
Date: September 25, 2020

STATE OF FLORIDA                     )  
COUNTY OF BREVARD                )

The foregoing instrument was acknowledged before me by ✓ physical presence or    online notarization this 25<sup>th</sup> day of September 2020 by TODD J. POKRYWA as PRESIDENT of THE VIERA COMPANY, a Florida corporation, on behalf of the corporation. He is personally known to me.



Charlene R. Spangler  
Print Name: Charlene R. Spangler  
Notary Public, State of Florida  
Commission No.: GG341423  
My Commission Expires: 6/3/2023

(SIGNATURE OF CVCA IS ON THE FOLLOWING PAGE.)

WITNESSES:

Benjamin E. Wilson

Name: Benjamin E. Wilson

Charlene R. Spangler

Name: Charlene R. Spangler

ASSIGNEE:

CENTRAL VIERA COMMUNITY  
ASSOCIATION, INC.,  
a Florida not-for-profit corporation

By: Eva M. Rey

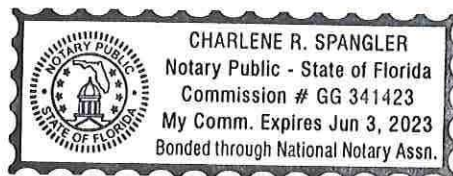
Name: Eva M. Rey

Title: President

Date: 9/25/2020

STATE OF FLORIDA                    )  
COUNTY OF BREVARD            )

The foregoing instrument was acknowledged before me by ✓ physical presence or      online notarization this 25<sup>th</sup> day of September 2020 by EVA M. REY, as PRESIDENT of CENTRAL VIERA COMMUNITY ASSOCIATION, INC., a Florida not-for-profit corporation, on behalf of the corporation. She is personally known to me.



Charlene R. Spangler  
Print Name: Charlene R. Spangler

Notary Public, State of Florida

Commission No.: GG 341423

My Commission Expires: 6/3/2023

(JOINDER BY THE COUNTY IS ON THE FOLLOWING PAGE.)

**JOINDER**

The County hereby joins in the execution of this Assignment for the purposes of consenting to the terms and conditions of this Assignment.

ATTEST:

COUNTY:

BOARD OF COUNTY COMMISSIONERS OF  
BREVARD COUNTY FLORIDA,

\_\_\_\_\_  
Scott Ellis, Clerk

By: \_\_\_\_\_  
Bryan Andrew Lober, Chair

As approved by the Board on October 6, 2020

Reviewed for legal form and content for Brevard County

\_\_\_\_\_

Alex Essee, Assistant County Attorney

**Exhibit A**

**The Agreement**





Tammy Rowe, Clerk to the Board, 400 South Street • P.O. Box 999, Titusville, Florida 32781-0999

Telephone: (321) 637-2001  
Fax: (321) 264-6972  
Tammy.Rowe@brevardclerk.us

May 24, 2017

MEMORANDUM

TO: Andrew Holmes, Public Works Interim Director

RE: Item II.A.13., Amendment to Right-of-Way Use Agreement with The Viera Company, Inc. for Improvements Within the Right-of-Way

The Board of County Commissioners, in regular session on May 23, 2017, approved and authorized the Chairman to execute the Amendment to the Right-of-Way Use Agreement with The Viera Company Inc. for improvements to the right-of-way. Enclosed are two fully-executed Right-of-Way Use Agreements.

Your continued cooperation is greatly appreciated.

Sincerely yours,

BOARD OF COUNTY COMMISSIONERS  
SCOTT ELLIS, CLERK

*Tammy Rowe*

Tammy Rowe, Deputy Clerk

/kp

Encls. (2)

cc: Interim County Manager

## AMENDMENT TO RIGHT-OF-WAY USE AGREEMENT

THIS AMENDMENT TO RIGHT-OF-WAY USE AGREEMENT (hereinafter referred to as this "Amendment") is made and entered into this 23 day of MAY, 2017 by and between The Viera Company, Inc., a Florida corporation, hereinafter referred to as "TVC," and the BOARD OF COUNTY COMMISSIONERS OF BREVARD COUNTY, FLORIDA, a political subdivision of the State of Florida, hereinafter referred to as the "COUNTY."

WITNESSETH:

**WHEREAS**, installation of improvements in a public right-of-way requires a Right-of-Way Use Agreement and County approval through the right-of-way permitting process

**WHEREAS**, The COUNTY and TVC have previously entered into a Right-of-Way Use Agreement on October 9, 2012, hereinafter referred to as the "Agreement," a copy of which is attached as Exhibit "A" to this Amendment and incorporated herein by this reference; and

**WHEREAS**, the purpose of the Agreement was to permit improvements in the public right of way on Stadium Parkway, north of Watersong Way; and

**WHEREAS**, TVC desires to install additional illuminated signage, landscaping, sod, irrigation facilities and related improvements in other portions of the public right-of-way along Stadium Parkway and desires to amend the Agreement to expand the definition of "Premises" to include the portion of Stadium Parkway from the intersection with the public right-of-way Judge Fran Jamieson Way north to the northern boundary of the Viera DRI along Stadium Parkway before the City of Rockledge city limits begin (and the public right-of-way Stadium Parkway becomes the public right-of-way Fiske Boulevard), as more particularly described in the sketch attached hereto as Exhibit "B" and incorporated herein by this reference (the "Additional Premises"); thereby allowing TVC to apply for right-of-way permits as future improvements are planned, such as landscaping, signage and irrigation;

**NOW, THEREFORE**, in consideration of the premises and mutual covenants contained, the parties hereby agree, as follows:

1. **RECITALS:** The above recitals are true and correct and incorporated into this Amendment by this reference. Any capitalized term not defined in this Amendment shall have the meaning given to such term in the Agreement.
2. **AMENDMENTS:** The Agreement is hereby amended as follows:
  - a. Definitions:
    1. **Premises:** The term "Premises" under the Agreement is hereby amended to include the Additional Premises. All references in the Agreement or this Amendment to the term "Premises" shall include the Additional Premises.
    2. **Landscape Plan:** The term "Landscape Plan" under the Agreement is hereby amended in its entirety to read as follows:

"The set of approved engineered drawings that have been submitted, or may be submitted by TVC and approved by the County in the future, as part of the permitting process for installation of improvements on the Premises and depicting the proposed improvements to be installed on the Premises, including Sheets L1 through L9 (attached hereto as Exhibit "C") submitted pursuant to County Permit #16RW00602, and Drawing No. SN-1.0; LS-1.1 through LS-1.2; HS-1.1 through HS-1.3 more specifically specified as Cover, SN-1.0 Standard Notes and Drawing Symbols, LS-1.1 Landscape Plan, LS-1.2 Landscape Details and Plant List, HS-1.1 Hardscape Plan, HS-1.2 Hardscape Details, and HS-1.3 Hardscape Details/Finish Schedule (AECOM Project #60215790 dated November 7, 2012 prepared by AECOM) together with Irrigation Plans, Drawings Nos. 11129\_404\_001 through 003, dated 7/16/12 prepared by B.S.E. Consultants, Inc. submitted pursuant to County Permit #12RW00740."

3. Right of Way Improvements: The term "Right-of-Way Improvements" is amended in its entirety to read as follows:

"Those improvements to the Premises that have been or will be installed by TVC in accordance with the Landscape Plan pursuant to the terms of this Agreement. "

- b. Maintenance: Section 1 of the Agreement is hereby amended in its entirety to read as follows:

TVC shall, at its expense, maintain any present and future Right-of-Way Improvements on the Premises in the manner described in this Agreement.

- c. Improvements: Section 4 of the Agreement is hereby amended in its entirety to read as follows:

"4. IMPROVEMENTS. All current and proposed improvements, structures, landscaping and facilities installed or to be installed by TVC on the Premises shall be in accordance with all County specifications, the approved Landscape Plan, and all permitting procedures and requirements. It is hereby agreed and understood that any improvement placed on or constructed on the Premises and permanently attached thereto, shall remain the property of TVC and that TVC retains the right to remove such improvement within forty-five (45) days of the date of termination of this Agreement, whether by breach or by expiration of its natural term. In the event such improvements are not removed within forty-five (45) days of termination, the improvements shall become the property of the County."

- d. Miscellaneous Amendments:

- i. The following provisions are added as a new Section 17 to the Agreement:

"17. SEVERABILITY. If any provision of this Agreement is held by a court of competent jurisdiction to be invalid, void or otherwise unenforceable, the remaining provisions shall nevertheless continue in full force without being impaired or invalidated in any way. "

ii. The following provisions are added as a new Section 18 to the Agreement:


"18. ATTORNEY'S FEES AND VENUE. In the event of any legal action to enforce, interpret, or construe the terms of this Agreement, each party shall bear its own attorney's fees and costs. Venue for any legal action brought by any party to this Agreement to interpret, construe or enforce this Agreement shall be in a court of competent jurisdiction in and for Brevard County, Florida, and any trial shall be non-jury.

3. FULL FORCE AND EFFECT: Except as modified by this Amendment, all terms and conditions of the Agreement remain unmodified and in full force and effect. To the extent of any conflict between the provisions of the Agreement and this Amendment, the applicable provisions of this Amendment shall control.
4. COUNTERPARTS: This Amendment may be executed by TVC and the COUNTY in counterparts.

IN WITNESS WHEREOF, the parties hereto have hereunto set their hands and seals on the date first above written.

ATTEST:

BOARD OF COUNTY COMMISSIONERS  
OF BREVARD COUNTY, FLORIDA




Scott Ellis, Clerk



Curt Smith, Chairman

AS APPROVED BY THE BOARD ON: 5/23/17

APPROVED AS TO LEGAL FORM:



Assistant County Attorney

(SIGNATURE OF THE VIERA COMPANY IS ON THE FOLLOWING PAGE.)



WITNESSES:

THE VIERA COMPANY, a Florida corporation

Benjamin E. Wilson  
Name: Benjamin E. Wilson

By: [Signature]  
Name: Stephen L. Johnson  
Title: President

Karen E. Esposito  
Name: Karen E. Esposito

STATE OF FLORIDA       )  
  )  
COUNTY OF BREVARD    )

The foregoing instrument was acknowledged before my this 9<sup>th</sup> day of May, 2017 by Stephen L. Johnson, as President of The Viera Company, a Florida corporation, on behalf of the corporation. He is personally known to me.

Benjamin E. Wilson  
NOTARY PUBLIC, STATE OF FLORIDA



BENJAMIN E. WILSON  
MY COMMISSION # FF 032645  
EXPIRES: October 10, 2017  
Bonded Thru Budget Notary Services

Exhibit "A"

Copy of the Agreement

RIGHT OF WAY USE AGREEMENT  
(Portion of Stadium Parkway, North of Watersong Way)

THIS RIGHT-OF-WAY USE AGREEMENT (the "Agreement"), made and entered into this 9 day of October, 2012 by and between the BOARD OF COUNTY COMMISSIONERS OF BREVARD, COUNTY, FLORIDA, a political subdivision of the State of Florida (hereinafter referred to as "COUNTY"), and The Viera Company, a Florida corporation (hereinafter referred to as "TVC").

WITNESSETH

WHEREAS, Stadium Parkway has been dedicated to Brevard County, Florida (hereinafter referred to as the "Public Right-of-Way");

WHEREAS, TVC desires to improve the Public Right-of-Way by installing illuminated signage, landscaping, sod, irrigation facilities and related improvements in accordance with the landscape plan which includes the Public Right-of-Way heretofore submitted by TVC to the County, such Landscape Plan (as defined hereinbelow) incorporating Drawing No. SN-1.0; LS-1.1 thru LS-1.2; HS-1.1 thru HS-1.3 more specifically specified as Cover, SN-1.0 Standard Notes and Drawing Symbols, LS-1.1 Landscape Plan, LS-1.2 Landscape Details and Plant List HS-1.1 Hardscape Plan, HS-1.2 Hardscape Details and HS-1.3 Hardscape Details/Finish Schedule (AECOM Project # 60215790 dated November 7, 2012 prepared by AECOM together with Irrigation Plans, Drawings Nos. 11129\_404\_001 thru 003, dated 7/16/12 prepared by B.S.E. Consultants, Inc. and upon receipt, "final" County comments (hereinafter collectively referred to as the "Landscape Plan"), as such as such Landscape Plan may be from time to time modified with the consent and approval of the County (hereinafter referred to as the "Right-of-Way Improvements");

WHEREAS the COUNTY owns the Public Right-of-Way, and;

WHEREAS, the County pursuant to the authority set forth in Section 125.01, Florida Statutes, may allow the use of public right-of-way for purposes which do not conflict with the interests of the public; and

WHEREAS, the County has determined that use of the Public Right-of-Way by TVC for the operation, maintenance, repair and improvement of the Right-of-Way Improvements pursuant to this Agreement will not conflict with the interests of the public.

NOW THEREFORE, in consideration of the covenants herein contained, it is mutually agreed between the parties as follows:

1. MAINTENANCE OF PROPERTY. TVC hereby agrees to maintain the Right-of-Way Improvements, in the manner described in this Agreement, on the following described property, hereinafter referred to as the "Premises":

SEE ATTACHED EXHIBIT "A"

2. TERM. The initial term of this Agreement shall be ten (10) years commencing with the date of the execution of this Agreement and shall thereafter be automatically renewed annually unless terminated by either party, in accordance with paragraph 13 Termination herein.

3. USE OF PREMISES. TVC shall use the Premises for landscaping only. It is hereby mutually agreed and understood that the use of any structure, improvement or facility now or hereafter located on the Premises shall be for decorative purposes only and not for human occupancy, nor shall such structures or improvements create traffic hazards. It is specifically agreed and understood that the use herein set forth shall be the only use consented to by the COUNTY, and that failure to comply with this provision shall be considered a material breach of this Agreement, whereupon the COUNTY shall be entitled to immediately terminate this Agreement.

4. IMPROVEMENTS. All improvements, structures, landscaping and facilities maintained by TVC on the Premises shall be in accordance with all COUNTY specifications and the approved Landscape Plan. It is hereby agreed and understood that any improvement placed on or constructed on the Premises and permanently attached thereto, shall remain the property of TVC and that TVC retains the right to remove such improvement within forty-five (45) days of the date of termination of this Agreement, whether by breach or by expiration of its natural term. In the event such improvements are not removed within forty-five (45) days of termination, the improvements shall become the property of the COUNTY.

5. UTILITIES. TVC shall pay all charges for electrical service and other utility services supplied to TVC at the Premises.

6. REPAIRS AND MAINTENANCE. TVC shall, at its own expense, maintain the grounds and all improvements, structures and facilities on the Premises and make all necessary repairs and replacements to the Premises and to any improvements constructed thereon. Such maintenance, repairs and replacements shall be made promptly as and when necessary.

7. ILLEGAL, UNLAWFUL OR IMPROPER USE. TVC shall make no unlawful, improper, immoral or offensive use of the Premises, nor will TVC use the Premises or allow use of the Premises for any purposes other than that hereinabove set forth. Failure of TVC to comply with this provision shall be considered a material default under this Agreement. In the event any structure, improvement or landscaping is deemed a traffic safety hazard by the COUNTY or Florida Department of Transportation, such use shall be deemed an improper use and the agreement shall be subject to immediate termination.

8. INDEMNIFICATION AND INSURANCE. Except where limited by law, TVC agrees that it will indemnify and save harmless the COUNTY from any and all liability, claims, damages, expenses, proceedings and causes of action of every kind and nature arising out of or connected with the use, occupation, management or control of the Premises or any improvement thereon or any equipment or fixtures used in connection with the Premises. TVC agrees that it will, at its own expense, defend any and all actions, suits or proceedings which may be brought



against the COUNTY in connection with TVC's use of the Premises and that it will satisfy, pay and discharge any and all judgments that may be entered against the COUNTY in any such action or proceedings. The parties acknowledge specific consideration has been exchanged for the provision.

TVC further agrees to provide and maintain at all times during the term of this Agreement, without cost or expense to the COUNTY, policies of General Liability Insurance insuring TVC against any and all claims, demands or causes of action whatsoever for injuries received and damages to property in connection with the use, occupation, management and control of the Premises and the improvements thereon. Such policies of insurance shall insure TVC in an amount not less than ONE MILLION DOLLARS (\$1,000,000.00) to cover any and all claims arising in connection with any one particular accident or occurrence. A certificate of such insurance policies shall be filed with the Road and Bridge Department, 2725 Judge Fran Jamieson Way, Bldg. A-201, Viera, Florida, 32940, within fifteen (15) days of the date of execution of this Agreement. The COUNTY shall be named as an additional insured on the policy that the Association secures and endorsed with a provision that entitles the COUNTY to thirty (30) days written notice from the insurer of any change or cancellation in said policies.

TVC shall notify the COUNTY immediately in writing of any potentially hazardous condition existing on or about the Premises.

All personal property, equipment, fixtures, structures or improvements constructed or placed on or about the Premises by TVC shall be at the risk of TVC and the COUNTY shall not be liable for any damage or loss to personal property, equipment, fixtures, structures or improvements located thereon for any cause whatsoever. TVC agrees and understands that the COUNTY does not and shall not carry liability, theft, or fire insurance on any of said items or facilities to cover TVC's interests therein.

At the time of execution of this agreement, any existing landscaping installed on the Premises will be the responsibility of TVC. In the event this pre-existing landscaping causes damage to County property, to include but not limited to, sidewalk/roadway/curb and gutter/drainage inlets, TVC will be responsible for immediate repair to County property. If TVC fails to repair the damage, TVC will pay the County all costs incurred by the County to repair the damage.

9. RIGHT OF ENTRY. The COUNTY or its agents may enter in and on the Premises at any reasonable time for the purpose of inspecting such property or performing other duties as are required by law or by the terms of this Agreement.

10. COMPLIANCE WITH STATUTES. TVC shall promptly execute and comply with all statutes, ordinances, rules, regulations, and requirements of all local, state and federal governmental bodies applicable to the Premises, for the correction, prevention and abatement of nuisances or other grievances in, upon, or connected with the Premises during the term of the Agreement.

11. BINDING EFFECT; ASSIGNABILITY. This Agreement will inure to the benefit of and will be binding upon the parties hereto and their respective successors and assigns. Except as otherwise provided hereinbelow, TVC shall not assign this Agreement or any of TVC's rights, obligations, or duties hereunder to any party without the prior written consent of the County. However, the County and TVC agree that upon completing the initial installation of the Right-of-Way Improvements, all of the rights, obligations and duties of TVC under this Agreement shall be assignable by TVC to the Central Viera Community Association, Inc. (hereinafter referred to as the "Community Association"). Such assignment shall be by a written instrument executed with the formality of a deed on behalf of TVC assigning such rights, obligations and duties to the Community Association, and on behalf of the Community Association assuming such rights, obligations and duties. Such Assignment shall also set forth the address of the Community Association for purposes of receiving notices under this Agreement in accordance with paragraph 14 hereinbelow. Upon the execution of such Assignment and its delivery to the County, the County agrees that TVC shall be released from all obligations and duties hereunder and that the County shall thereafter look solely to the Community Association for the performance of such obligations and duties.

12. INDEPENDENT CONTRACTOR. TVC shall perform the services under this Agreement as an Independent Contractor and nothing herein shall be construed to be inconsistent with this relationship or status. Nothing in the Agreement shall be interpreted or construed to constitute TVC or any of its agents or employees to be the agent, employee or representative of the COUNTY.

13. TERMINATION. This Agreement may be terminated with or without cause by either party upon forty-five (45) days' written notice thereof to the other party; provided, however, that upon termination, TVC shall, at the request of the COUNTY, remove all improvements to the Premises, or, in the alternative, reimburse the COUNTY for the cost of such removal.

14. NOTICE. Notice under this Agreement shall be given to the COUNTY at the office of the County Manager, 2725 Judge Fran Jamieson Way, Bldg. C, Viera, Florida 32940, and to TVC at the office of the Community Manager, 1331 Bedford Dr., Suite 103, Melbourne, Florida 32940.

15. WAIVER. The waiver by the COUNTY of any of TVC's obligations or duties under this Agreement shall not constitute a waiver of any other obligation or duty of TVC under this Agreement.

16. ENTIRETY. This Agreement represents the understanding between the parties in its entirety and no other agreements, either oral or written, exist between the COUNTY and TVC.

DONE, ORDERED and ADOPTED in Regular Session this 9 day of October, 2012.

-signatures next page-

ATTEST

Laurie S. Rice  
Laurie S. Rice,  
Chief Deputy Clerk

BOARD OF COUNTY COMMISSIONERS  
OF BREVARD COUNTY, FLORIDA

Chuck Nelson  
Chuck Nelson, Chairman  
As approved by the Board on 10-09-2012

THE VIERA COMPANY

Mary Ellen McKibben  
Printed name: Mary Ellen McKibben

Stephen L. Johnson  
Name: Stephen L. Johnson, President

Charlene R. Spangler  
Printed name: Charlene R. Spangler

The Viera Company

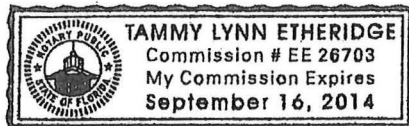
STATE OF FLORIDA  
COUNTY OF BREVARD

This is to certify that the foregoing  
is a true and current copy of Right of Way Use  
Agreement witness my hand  
and official seal this 20 day of  
November 2012

MITCH NEEDELMAN, Clerk of Circuit Court  
BY Jennifer P. Parnell D.C.

STATE OF FLORIDA }  
COUNTY OF BREVARD }

The foregoing instrument was acknowledged before me this 9 day of October,  
2012, by Chuck Nelson, a Chair of the Board of County Commissioners  
of Brevard County, Florida, who is personally known to me.



Tammy Lynn Etheridge  
NOTARY PUBLIC

Tammy Lynn Etheridge  
Printed Name

STATE OF FLORIDA }  
COUNTY OF BREVARD }

The foregoing instrument was acknowledged before me this 7<sup>th</sup> day of November,  
2012, by Stephen L. Johnson, as President of The  
Viera Company, a Florida corporation, who is personally known to me.

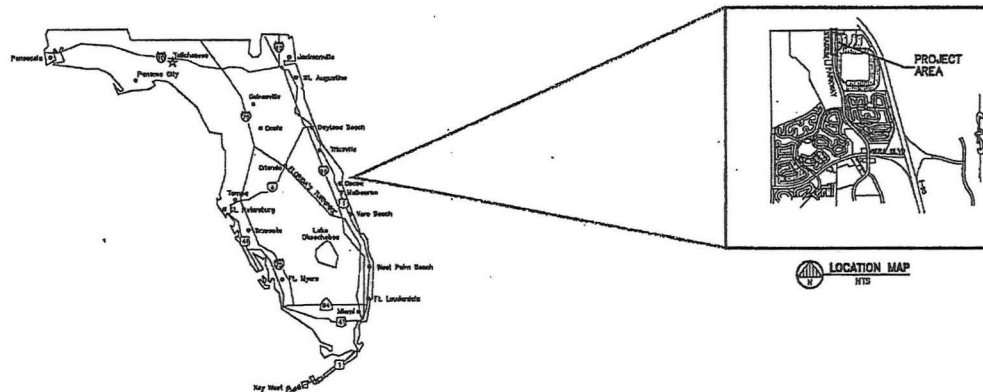
CHARLENE R. SPANGLER  
Notary Public, State of Florida  
My Commission Expires May 27, 2015  
Commission No. EE 84836

Charlene R. Spangler  
NOTARY PUBLIC  
Charlene R. Spangler  
Printed Name

# STADIUM PARKWAY IRRIGATION PLANS

SECTIONS 20 AND 29, TOWNSHIP 25 SOUTH, RANGE 36 EAST  
VIERA, BREVARD COUNTY, FLORIDA

INDEX TO DRAWINGS		
SHEET NO.	DWG NO.	DRAWING TITLE
1	11129_404_001	COVER SHEET
2	11129_404_002	PLAN VIEW STADIUM PARKWAY
3	11129_404_003	MAINTENANCE OF TRAFFIC DETAILS



LOCATION MAP  
11129

THE VIERA COMPANY  
7380 MURRELL ROAD, SUITE #200  
VIERA, FL 32940  
PHONE: (321) 242-1000 FAX: (321) 253-1800

NOTE: SEE LANDSCAPE PLANS PREPARED BY AECOM.  
PROPERTY OWNER REQUESTS FOR COMPLETE DETAILS  
OF THE PROPOSED LANDSCAPE IMPROVEMENTS  
WITHIN THE PROJECT LIMITS

- PREPARED BY -  
**B.S.E. CONSULTANTS, INC.**  
CONSULTING - ENGINEERING - LAND SURVEYING  
312 SOUTH HARBOR CITY BOULEVARD, SUITE 4, MELBOURNE, FLORIDA 32901  
PHONE: (321) 725-3874 / FAX: (321) 723-1159  
CERTIFICATE OF PROFESSIONAL ENGINEERS BUSINESS AUTHORIZATION: 4905



Hassan Karam, P.E.  
NO. 219 2112  
State of Florida, No. 41361

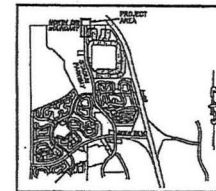


SCOTT H. GLANVILLE, P.E. & P.L.C.  
STATE OF FLORIDA, No. 41361

DATE: 7/21/12  
DRAWN BY: SK  
CHECKED BY: SK  
DESIGNED BY: SK  
PROJECT NO.: 11129  
SHEET 1 OF 3

12129-00140 Plan 082512





ADDITIONAL NOTES

MOTIVATIONS:

1. THE CONTRACTOR SHALL PROVIDE A MAINTENANCE OF TRAFFIC DURING PLANT TO BREVARD COUNTY PUBLIC WORKS, TRAFFIC OPERATIONS PROGRAM (20) 633-2077 (FOR EACH PHASE OF CONSTRUCTION IF APPLICABLE) A MINIMUM OF TWO (2) DAYS IN ADVANCE OF THE PROPOSED DATE FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY OR CLOSURE OF THE ROADWAY. THIS NOTICE SHALL BE PROVIDED BY THE CONTRACTOR AND WILL BE POSTED THROUGHOUT UNLESS UNDER SPECIAL CIRCUMSTANCES, OR LINK CLOSURES WILL BE POSTED THROUGHOUT PRIOR THAN TRAFFIC VOLUMES, LANE CLOSURES, AND/OR OTHER FACTORS MAY BE DEEMED NECESSARY. THE MOST PRACTICAL ALTERNATE CONTRASTION MUST BE MADE WITHIN THE NOT PLAN IS APPROVED. CERTAIN, HOWEVER, MUST REQUIRE WITHIN THE RIGHT-OF-WAY OR MUST BE PERFORMED AT ANY LANE CLOSURE.

2. THE CONTRACTOR SHALL NOTIFY BREVARD COUNTY PUBLIC WORKS, TRAFFIC OPERATIONS PROGRAM (20) 633-2077) A MINIMUM OF TWO (2) DAYS IN ADVANCE OF THE PROPOSED DATE FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY OR CLOSURE OF THE ROADWAY. THIS NOTICE SHALL BE PROVIDED BY THE CONTRACTOR AND WILL BE POSTED THROUGHOUT UNLESS UNDER SPECIAL CIRCUMSTANCES, OR LINK CLOSURES CAN BE SET BY THE POLICE DEPARTMENT, FIRE DEPARTMENT, SCHOOL,

**LÉGENDE**

STL = BURNED TELEPHONE CORDS  
 EDP = EDGE OF PAVEMENT  
 FPL = FLORIDA POWER & LIGHT  
 CHC = OVERHEAD ELECTRIC  
 SHS = OFFICIAL RECORDING BOOK  
 PS = PLAT BOOK  
 R/W = RIGHT-OF-WAY  
 W/M = WATER MAIN  
 W/P = WOOD POWER POLE  
 X, Y, Z = EXISTING SPOT ELEVATION

△ = GAK TREE W/SIZE  
 \* = PALM TREE W/SIZE

**SYMBOL LEGEND**

●●●	12" WWT SPRINGER HEAD
●	1-1/2" CONTROL VALVE

NOTE: LOCATION OF SPREADER-HEADS & SCHEMATIC CONTRACTOR TO ADJUST AS NECESSARY TO PROVIDE REQUIRED CURVE TO MINIMIZE OVERSPRAY INTO PAVEMENT

TYPICAL SPREADER LOCATION IS 2'-3' OF CURB ON SIDE OF SIDEWALK

---

Hassan Karmal, P.E.  
PLAN 29 1912  
State of Florida No. 41051

STADIUM PARKWAY  
IRRIGATION IMPROVEMENTS

**B.S.E. CONSULTANTS, INC.**  
CONSULTING - ENGINEERING - LAND SURVEYING  
312 SOUTH HARBOR CITY BOULEVARD, SUITE 4  
MELBOURNE, FLORIDA 32901 PHONE (321) 725-3674 FAX (321) 725-1159  
CERTIFICATE OF PROFESSIONAL ENGINEERING REGISTRATION NO. 10000-0000  
CERTIFICATE OF LAND SURVEYING REGISTRATION NO. 10000-0000

PHASE 1 IRRIGATION PLAN

Hassan Karam, P.E.  
**AN** 29 1912  
 State of Florida No. 4105

PROJECT NO.

# STADIUM PARKWAY GATEWAY

VIERA, FLORIDA  
HARDSCAPE AND LANDSCAPE CONSTRUCTION DOCUMENTS

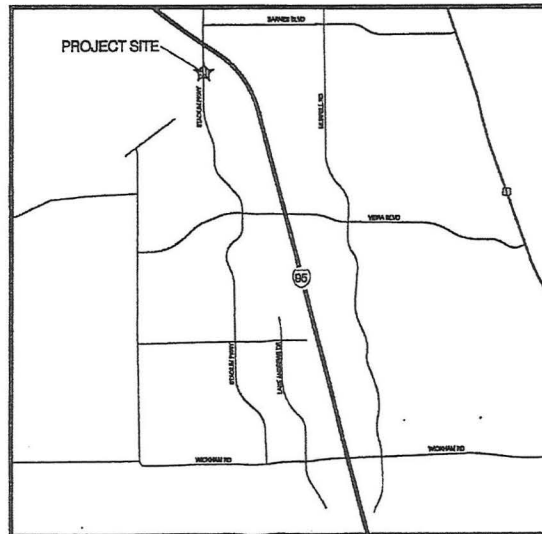
ISSUED FOR 100% CONSTRUCTION DOCUMENTS:  
13 August 2012

Prepared for:  
The Viera Company  
7380 Murrel Road, St 201  
Melbourne, FL 32940  
TEL (321) 242-1200  
Contact: Mary Ellen McKibben

AECOM  
Landscape Architecture and Planning  
180 N. Orange Ave., Suite 200  
Orlando, FL 32801  
Phone: (407) 846-6622  
Fax: (407) 858-1788  
Contact: Donald Whitely, P.E.

BSE Consultants  
Civil Engineering  
2118 N. Harbor City Blvd.  
Melbourne, FL 32903  
Phone: (321) 755-9555  
Fax: (321) 755-1100  
Contact: Kenneth Hornet, P.E.

David G. Kibridge, P.E.  
Structural Engineering  
328 Lake Park Circle  
Melbourne, FL 32901  
Phone: (321) 447-4487  
Contact: David G. Kibridge, P.E.



KEY MAP: N.T.S.

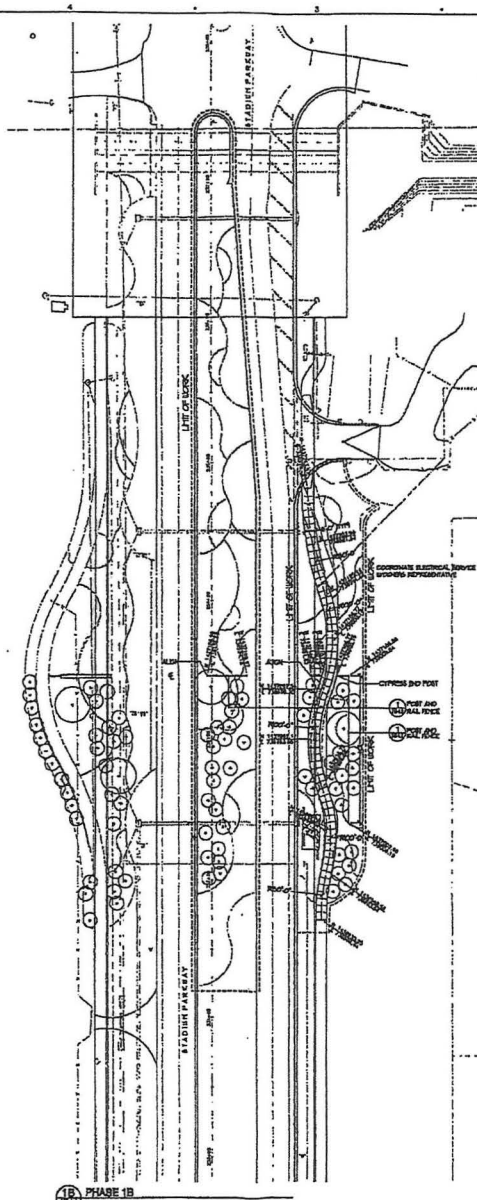
## SHEETS

SS-1.0	STANDARD NOTES & SYMBOLS
LS-1.0	LANDSCAPE PLAN
LS-1.1	LANDSCAPE DETAILS AND PLANT LIST
HS-1.0	HARDSCAPE PLAN
HS-1.1	HARDSCAPE DETAILS
HS-1.2	HARDSCAPE DETAILS/FINISH SCHEDULE

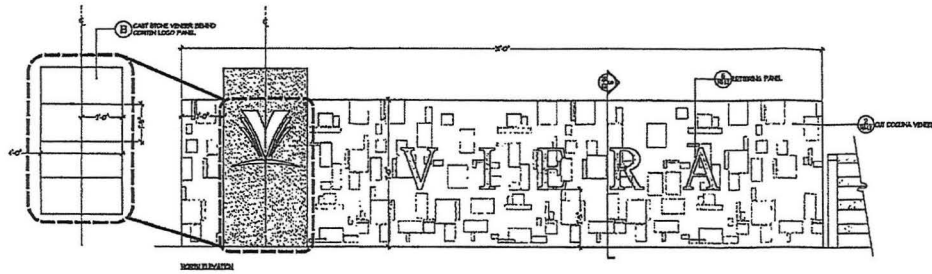
NOT FOR CONSTRUCTION  
- REVIEW SET ONLY -

12034-00140 Plan 1 10/2012

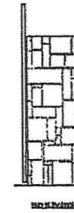




8131 ARDEN VERTICAL SERVICE INC.



1 SIGN WALL  
SCALE 1/4" = 1'-0"



2 CUT COQUINA VENEER  
SCALE 1/4" = 1'-0"

**CUT COQUINA VENEER SHALL BE A RANDOM PATTERN FOR AN UNIFORM EFFECT**

**VEINING VENEER SHALL BE:**

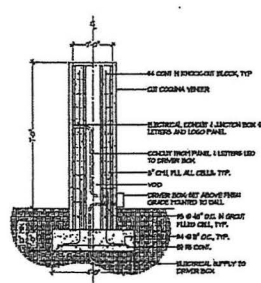
VEINING	THICKNESS	WIDTH	LENGTH
1	3/16"	3 1/2"	24"
2	1/4"	3 1/2"	24"
3	5/16"	3 1/2"	24"
4	3/8"	3 1/2"	24"
5	1/2"	3 1/2"	24"

**NO SINGLE PIECE SHALL BE LARGER THAN 1/2" X 3 1/2" X 24" AND NO SINGLE PIECE SHALL BE SMALLER THAN 1/2" X 1 1/2" X 12".**

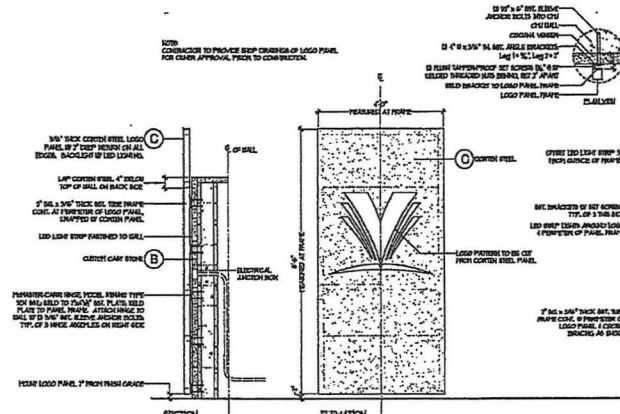
**THE LOCATION OF SMALL PIECES TO FILL IN GAPS, JOINTS AND PERCENTAGES AND BEHIND AN AREA TO REPRODUCE THE CHARACTER OF COQUINA AND SHALL**

**NOTE:**  
PROVIDE CUT SAMPLE PATTERN TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO FINAL COQUINA APPLICATION.

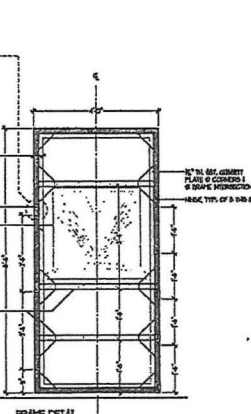
**COQUINA APPLICATION PROCEDURE:**  
APPLY COQUINA LAYERS 1/2" TO 3/4" THICK OVER EXISTING SURFACE. INSTALL SET BACK 1/2" OF SUBSTRATE FOR 1/2" TO 3/4" COQUINA LAYERS. TYPE 1 OF FUTURE JOINTS. PROVIDE COQUINA PATCH COQUINA, CONTRACTOR TO PROVIDE SUPPLY.



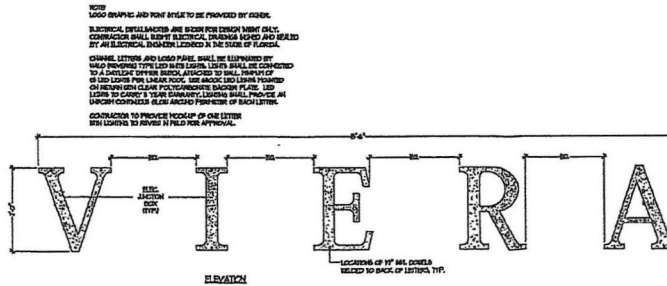
3 SIGN WALL SECTION  
SCALE 1/4" = 1'-0"



4 LOGO PANEL  
SCALE 1/4" = 1'-0"



5 LETTERING PANEL  
SCALE 1/4" = 1'-0"



NOT FOR CONSTRUCTION  
- REVIEW SET ONLY -

**AECOM**

**PROJECT**  
STADIUM PARKWAY  
GATEWAY  
Viera, FL  
**CLIENT**  
The Viera Company  
7200 Main Road, St. 201  
Melbourne, FL 32940  
321.245.1200

**LANDSCAPE ARCHITECT**  
**AECOM**  
AECOM TECHNICAL SERVICES, INC.  
100 North Orange Avenue, Suite 200  
Orlando, FL 32801  
407.843.8322 ext. 407.838.1788 fax  
www.aecom.com  
**CONSULTANTS**

**DAVID G. KITTRIDGE, PE**  
Structural Engineer - PE 17238  
520 Fifth Circle  
Maitland, FL 32751  
(407) 847.8457 (O)  
(407) 847.5646 (F)

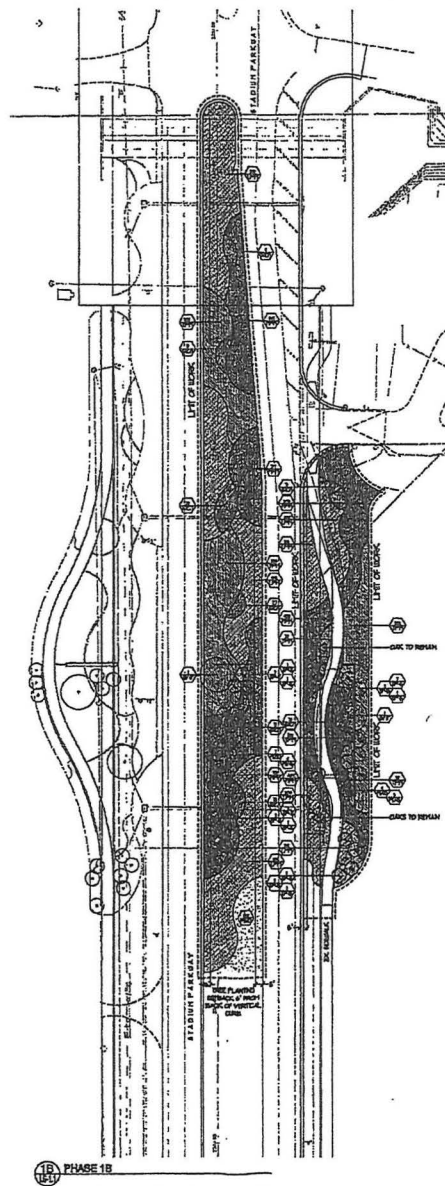
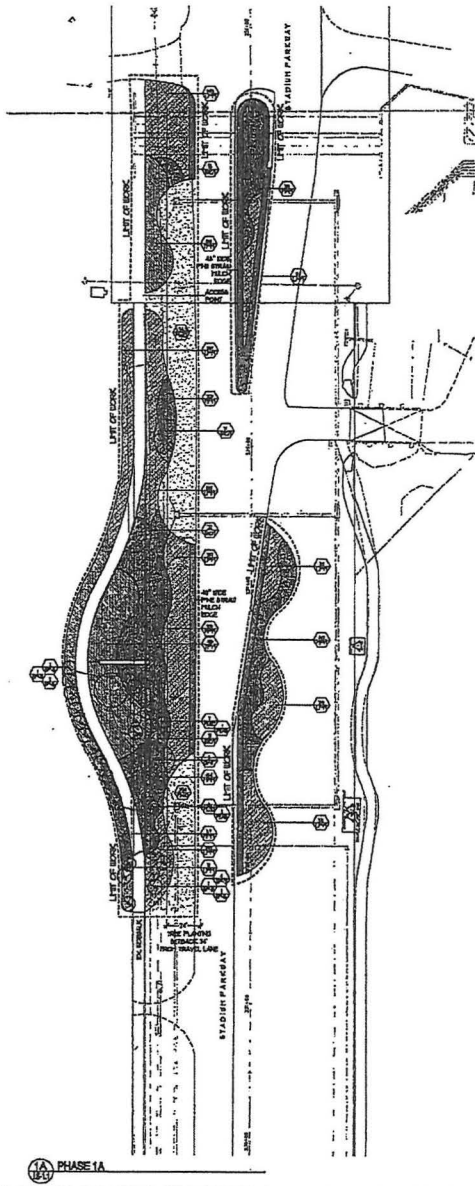
**REVISION**

DATE	BY	DESCRIPTION
11/11/2011	DAVID G. KITTRIDGE	ISSUED FOR PERMIT
11/11/2011	DAVID G. KITTRIDGE	REVISIONS
11/11/2011	DAVID G. KITTRIDGE	REVISIONS
11/11/2011	DAVID G. KITTRIDGE	REVISIONS

**KEY PLAN**

**PROJECT NUMBER**  
A0219700  
**SHEET TITLE**  
HARDSCAPE DETAILS  
**SHEET NUMBER**  
HS-1.2

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#### GENERAL NOTES

1. SCOPE OF THE PROJECT INCLUDES THE INSTALLATION OF NEURON IRRIGATION MAIN IN THE RIGHT-OF-WAY OF VERA BOULEVARD BETWEEN STADIUM PARKWAY AND 146.
2. AN EROSION CONTROL OF WAY USE AGREEMENT IS REQUIRED BETWEEN BREVARD COUNTY AND THE VERA COMPANY.
3. IN THE EVENT THAT THE FIBER OPTIC CABLE IS HIT, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY BREVARD COUNTY TRAFFIC OPERATIONS AT (321) 655-4640 SO THAT REPAIRS CAN BE MADE BY THE BREVARD COUNTY FIBER CONTRACTOR.
4. IF THE BREVARD COUNTY FIBER OPTIC CABLE IS DAMAGED THROUGH WORK FROM THIS PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE TO PAY FOR THE REPAIR OF THE CABLE AND ALL NECESSARY CONNECTION WORK BETWEEN THE VERA GOVERNMENT CENTER TRAFFIC ENGINEERING OFFICE AND THE NEAREST FIBER LOCAL AND GUY WIRE.
5. EXISTING STORMWATER IS SHOWN UPON THE PLANS. CONTRACTOR SHALL MAINTAIN EXISTING DRAINAGE DURING CONSTRUCTION. IF REQUIRED, CONTRACTOR SHALL TEMPORARILY REMOVE, RELOCATE AND/OR REPLACE THE AFFECTED DRAINAGE. COORDINATE WITH BREVARD COUNTY AS NECESSARY.

#### CONSTRUCTION NOTES

1. PIPE MATERIAL FOR THE PROPOSED IRRIGATION MAIN SHALL BE SCHEDULE 40 PVC, COLOR PEOPLE. ALL DIRECTIONAL BORERS SHALL UTILIZE PEOPLE AS REQUIRED BY BREVARD COUNTY CUSTOMERS.
2. ALL DISTURBED AREAS WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE RESEED.
3. ALL DIRECTIONAL BORERS SHALL EXTEND A MINIMUM 100 FEET PAST THE EDGE OF PAVEMENT OR ANY ROADWAY OR CONCERNED DRIVEWAY AND A MINIMUM OF 2 FEET EACH SIDE OF A SIDEWALK.
4. BOREHOLE LOCATIONS FOR COMPLETE UTILITY LOCATED FOR ALL AFFECTED WORK AREAS A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ANY LOCATED UTILITIES THAT POTENTIALLY IMPACT THE WORK AREA SHALL BE CORRODED BY HAND DIGGING AS NEEDED TO AVOID DAMAGE.
5. ANY DAMAGE TO THE EXISTING INFRASTRUCTURE, INCLUDING SIDEWALKS, BY THE CONTRACTOR, MUST BE REPLACED PRIOR TO FINAL INSPECTION. SIDEWALK PATCHING IS NOT ACCEPTABLE. ALL NEW SIDEWALK CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH BREVARD COUNTY STANDARD CONSTRUCTION DETAIL, DETAIL 13.
6. MAINTENANCE OF TRAFFIC MUST BE MAINTAINED IN ACCORDANCE WITH POST SIGNAGE INDEX 611, 614, 615 AND 640 AS APPLICABLE, SEE SHEET 9.
7. EXISTING DRAINAGE SWALES AND CULVERTS SHALL BE MAINTAINED DURING CONSTRUCTION. ANY DISTURBANCE OR DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR.
8. ALL DIRECTIONAL BORERS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE POST SIGNAGE SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 601, DIRECTIONAL BORERS SECTIONS 604-1-5 AND THE POST UTILITIES ACCORDATION MANUAL, SECTIONS 16-15-16-16.
9. TO THE GREATEST EXTENT PRACTICAL, CONTRACTOR SHALL MAINTAIN A MINIMUM SEPARATION OF 2 FEET (24 INCHES) BETWEEN THE PROPOSED LINE AND EXISTING UTILITIES. SEE CROSSING DETAILS FOR ANTI-CORROSION PROTECTION. WITH THE EXCEPTION OF THE EXISTING CROSSING DETAILS SHOWN WITHIN THESE PLANS, ANY FIELD CONDITIONS THAT WOULD PREVENT MEETING THE SEPARATION REQUIREMENTS MUST BE BROUGHT TO THE ENGINEER'S ATTENTION FOR DISCUSSION PRIOR TO INSTALLATION.

#### NOT RECOMMENDED

1. THE CONTRACTOR SHALL PROVIDE A MAINTENANCE OF TRAFFIC (MOT) PLAN TO BREVARD COUNTY PUBLIC WORKS, TRAFFIC OPERATIONS PROGRAM (201) 655-4671 (FOR EACH PHASE OF CONSTRUCTION) IN ACCORDANCE WITH A MINIMUM OF TWO (2) WEEKS IN ADVANCE OF THE PROPOSED START DATE OF CONSTRUCTION. NO ROAD CLOSURES WILL BE PERMITTED UNLESS UNDER SPECIAL CIRCUMSTANCES. NO LANE CLOSURES WILL BE PERMITTED UNLESS PRIOR TO TRAFFIC VOLUMES, LANE CLOSURE RESTRICTIONS WILL BE DETERMINED AT THE TIME THE MOT PLAN IS SUBMITTED. CONTRACTOR SHALL HAVE A MINIMUM OF TWO (2) WEEKS IN ADVANCE OF THE PROPOSED START DATE OF CONSTRUCTION. THE MOT PLAN IS APPROVED BY THE POLICE DEPARTMENT, FIRE DEPARTMENT, SCHOOL BOARD, AND OTHER AFFECTED AGENCIES.

NOT FOR CONSTRUCTION  
- REVIEW SET ONLY -



**AECOM**

**PROJECT**  
STADIUM PARKWAY  
GATEWAY  
Viera, FL  
**CLIENT**  
The Viera Company  
7300 Merrill Road, Suite 200  
Melbourne, FL 32940  
321.241.1100 (x1)

**LANDSCAPE ARCHITECT**  
**AECOM**  
AECOM TECHNICAL SERVICES, INC.  
150 North Orange Avenue, Suite 200  
Orlando, FL 32801  
407.442.9333 FAX 407.438.1788  
www.aecom.com  
**CONSULTANTS**

#### REGISTRATION

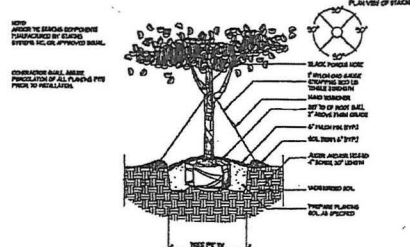
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10/11/2011	10/11/2011	FOR PERMIT
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10/11/2011	10/11/2011	FOR PERMIT
10/11/2011	10/11/2011	FOR PERMIT
10/11/2011	10/11/2011	FOR PERMIT
10/11/2011	10/11/2011	FOR PERMIT

#### KEY PLAN

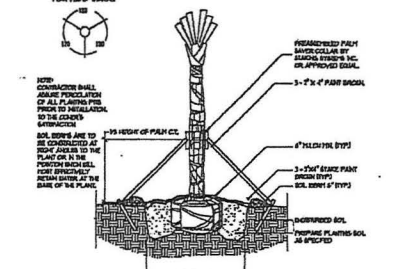


**PROJECT NUMBER**  
0001070  
**SHEET TITLE**  
LANDSCAPE PLAN  
**SHEET NUMBER**  
LS-1.1  
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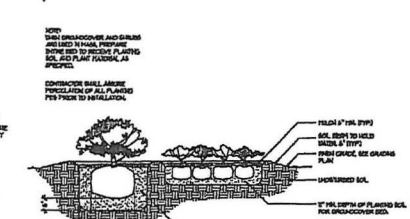




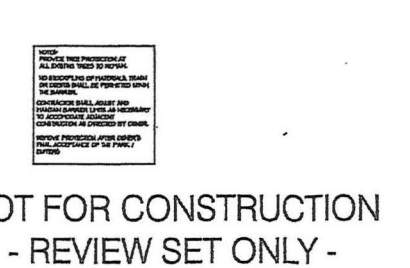
② TREE PLANTING DETAIL (6" TO <7" CAL.)



#### 4 PALM PLANTING



SHRUB &amp; GROUND COVER DETAIL.



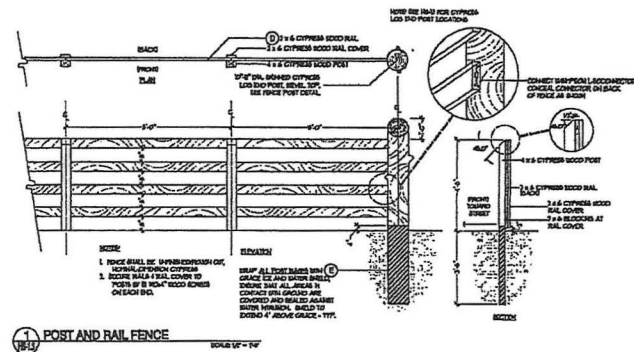
PLANT LIST - PHASE 1A

TREES			COMMON NAMES		SCIENTIFIC NAMES		RANGE	
220	DEC	Medium to large			<i>Pinus strobus</i>			AL
221	DEC	Medium to large			<i>Pinus strobus</i>			AL
222	DEC	Tree shrub			<i>Pinus strobus</i>			AL
223	DEC	Tree shrub			<i>Pinus strobus</i>			AL
PALMS			COMMON NAMES		SCIENTIFIC NAMES		RANGE	
224	DEC	Small palm			<i>Chlorophytum complanatum</i>			AL
225	DEC	Small palm			<i>Chlorophytum complanatum</i>			AL
226	DEC	Small palm			<i>Chlorophytum complanatum</i>			AL
227	DEC	Small palm			<i>Chlorophytum complanatum</i>			AL
GRASSES			COMMON NAMES		SCIENTIFIC NAMES		RANGE	
228	DEC	Grass			<i>Poa annua</i>			AL
229	DEC	Grass			<i>Poa annua</i>			AL
LOW GROWING PLANTS			COMMON NAMES		SCIENTIFIC NAMES		RANGE	
230	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
231	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
232	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
233	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
234	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
MEDIUM GROWING PLANTS			COMMON NAMES		SCIENTIFIC NAMES		RANGE	
235	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
236	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
237	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
238	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
239	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
240	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
241	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
242	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
243	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
244	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
245	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
246	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
247	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
248	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
249	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
250	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
251	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
252	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
253	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
254	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
255	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
256	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
257	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
258	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
259	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
260	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
261	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
262	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
263	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
264	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
265	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
266	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
267	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
268	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
269	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL
270	DEC	Small plant			<i>Chlorophytum complanatum</i>			AL

## PLANT LIST - PHASE 1B

TREES			CUTTING NAME	SPECIFICATION	REMARKS
FRG# 1	REX	1	Prunus virginiana	Live Oak	2 1/2" x 1/2" x 1/2" x 1/2"
FRG# 2	REX	1	Prunus virginiana	Live Oak	2 1/2" x 1/2" x 1/2" x 1/2"
FRG# 3	REX	1	Prunus virginiana	Live Oak	2 1/2" x 1/2" x 1/2" x 1/2"
PALMS			CUTTING NAME	SPECIFICATION	REMARKS
PA# 1	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
PA# 2	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
PA# 3	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
SHRUBS			CUTTING NAME	SPECIFICATION	REMARKS
SHR# 1	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
SHR# 2	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LOW PLANTING MIX			CUTTING NAME	SPECIFICATION	REMARKS
LPM# 1	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 2	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 3	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 4	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 5	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 6	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 7	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 8	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 9	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 10	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 11	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 12	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 13	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 14	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 15	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 16	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 17	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 18	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 19	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 20	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 21	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 22	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 23	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 24	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 25	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 26	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 27	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 28	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 29	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 30	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 31	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 32	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 33	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 34	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 35	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 36	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 37	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 38	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 39	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 40	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 41	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 42	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 43	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 44	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 45	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 46	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 47	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 48	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 49	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 50	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 51	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 52	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 53	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 54	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 55	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 56	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 57	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 58	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 59	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 60	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 61	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 62	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 63	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 64	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 65	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 66	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 67	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 68	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 69	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 70	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 71	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 72	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 73	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 74	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 75	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 76	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 77	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 78	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 79	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 80	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 81	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 82	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 83	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 84	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 85	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 86	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 87	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 88	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 89	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 90	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 91	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 92	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 93	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 94	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 95	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 96	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 97	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 98	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 99	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 100	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 101	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 102	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 103	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 104	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 105	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 106	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 107	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 108	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 109	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 110	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 111	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 112	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 113	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 114	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 115	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 116	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 117	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 118	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 119	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 120	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 121	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 122	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 123	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 124	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 125	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 126	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 127	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 128	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 129	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 130	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 131	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 132	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 133	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 134	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 135	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 136	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 137	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 138	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 139	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 140	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 141	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 142	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 143	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 144	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 145	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 146	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 147	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 148	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 149	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 150	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 151	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 152	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 153	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 154	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 155	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 156	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 157	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 158	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 159	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 160	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 161	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 162	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 163	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 164	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 165	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 166	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 167	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 168	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 169	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 170	REX	1	Salvadora persica	Common Palm	1" x 1/2" x 1/2" x 1/2"
LPM# 171	REX	1	Salvadora persica	Common Palm	1" x 1/2" x

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**AECOM**

**PROJECT**  
**STADIUM PARKWAY**  
**GATEWAY**

Viera, FL

**CLIENT**

**The Viera Company**

7330 Island Road, St. 201

Melbourne, FL 32940

221 242 1233 fax

**LANDSCAPE ARCHITECT**

**AECOM**

AECOM TECHNICAL SERVICES, INC.

180 North Orange Avenue, Suite 250

Orlando, FL 32801

407 842 8000 fax 407 834 1788 fax

**CONSULTANTS**

**REGISTRATION**

DATE	BY	REVISION/DESCRIPTION
11-18-2011	FOR REVIEW	
11-18-2011	FOR REVIEW	
11-18-2011	FOR REVIEW	
11-18-2011	FOR REVIEW	

**KEY PLAN**

FINISH SCHEDULE		
		SPECIFICATIONS
(A)	CUT CORONA VENEER	TYPE: FIELD CUT CORONA, STACKED BOND PATTERN, 1" NOMINAL THICKNESS COLOR: N/A FINISH: STAINLESS STEEL SOURCE: LANCY'S STEEL COMPANY 808 244-8446
(B)	CORICH CAST STONE	TYPE: CORICH CAST STONE, 1" THICKNESS COLOR: BSW, PROVIDE SAMPLES FINISH: SAND FINISH SOURCE: CASTLESTONE, INC. 800 441 1234 (407) 877-3666
(C)	CORTEN STEEL	TYPE: CORTEN STEEL PLATE COLOR: WEATHERED CORTEN STEEL FINISH: WEATHERED CORTEN STEEL SOURCE: CORTEN STEEL SERVICE, 888 441 1234 (407) 877-3666
(D)	CYPRESS LUMBER	TYPE: CYPRESS LUMBER COLOR: NATURAL FINISH: ROUGH CUT SOURCE: COASTAL CYPRESS, COASTALCYPRESS.COM 866 443 2021
(E)	ICE & WATER SHIELD	TYPE: GRACE ICE AND WATER SHIELD COLOR: N/A FINISH: N/A SOURCE: GRACE CONSTRUCTION.COM

**NOT FOR CONSTRUCTION**  
**- REVIEW SET ONLY -**

**PROJECT NUMBER**

80215790

**SHEET TITLE**

**HARDSCAPE DETAILS/  
FINISH SCHEDULE**

**SHEET NUMBER**

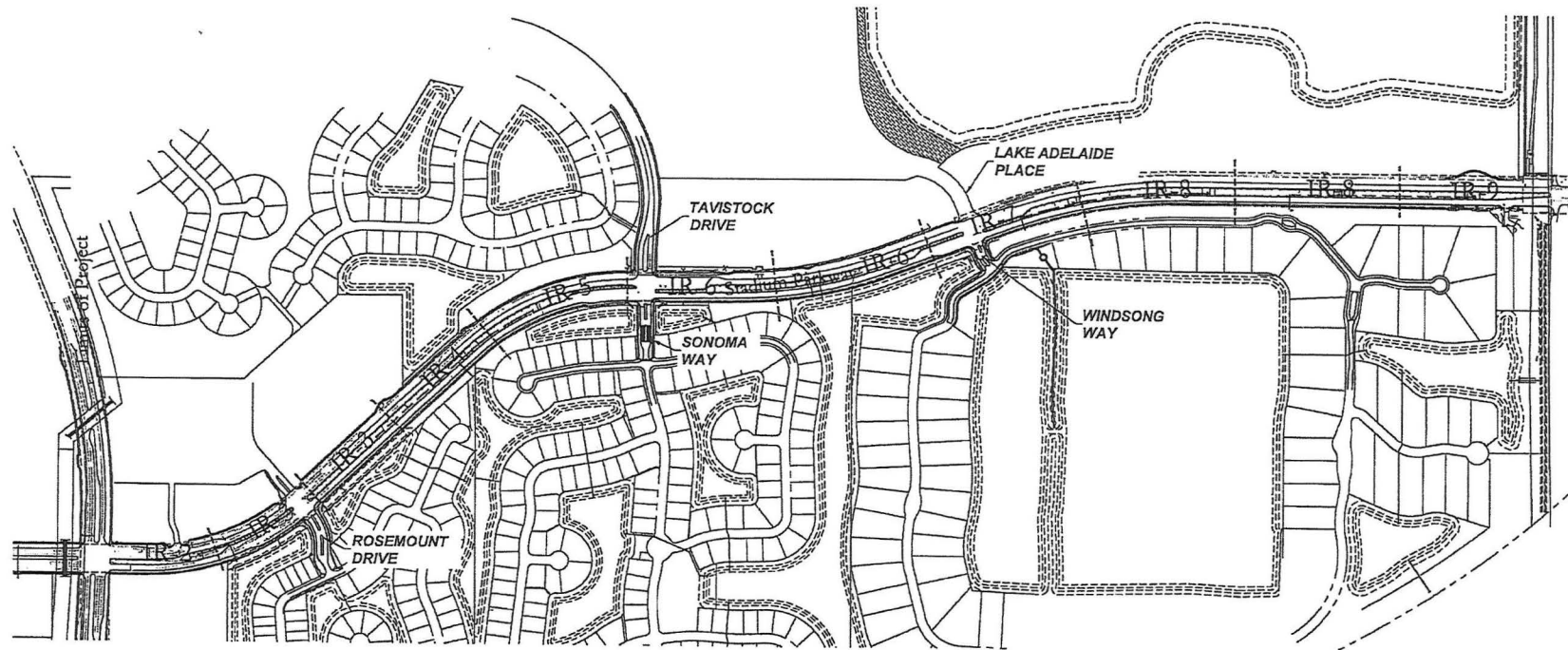
**HS-1.3**

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Exhibit "B"

Description of the Additional Premises

Exhibit B



NOTE: LANDSCAPING PERFORMANCE STANDARDS PER SEC. 62-4341 AND THE WEST VIERA ALTERNATIVE DEVELOPMENT STANDARDS (ADS) FOR DETACHED SINGLE FAMILY UNITS, ZERO LOT LINE UNITS AND ATTACHED SINGLE FAMILY UNITS WILL BE ADDRESSED AND REVIEWED AT THE TIME OF BUILDING PERMIT REVIEW.

Tropic-Care of Florida

7635 Progress Cir  
Melbourne, FL 32904  
(321) 724-5333

By  
Description

REVISIONS:

No.	Date
1.	
2.	
3.	
4.	

Stadium Parkway

Viera, Florida

Overall Irrigation Plan

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NORTH



DATE:

7-27-18

SCALE:

NONE

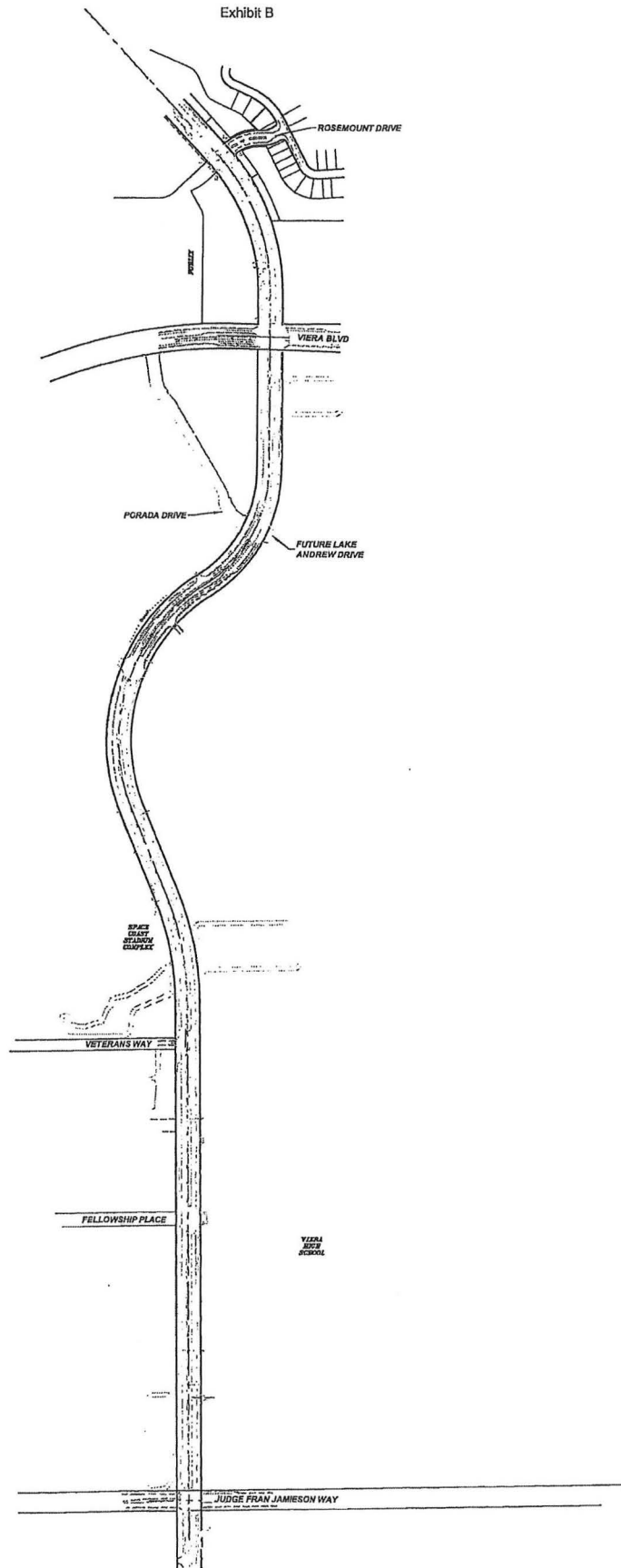
SHEET:

1 of 9

SHEET NO.:

IR-1

Exhibit B



DESIGNED BY: HAZWSP	DATE: 2/21/17
---------------------	---------------



**B.S.E. CONSULTANTS, INC.**  
CONSULTING - ENGINEERING -  
LAND SURVEYING  
1101 W. WILLOWDALE DRIVE, SUITE 100  
MILWAUKEE, WISCONSIN 53226  
PHONE: (262) 251-1211 FAX: (262) 251-1212  
COMPANY OF PROFESSIONAL ENGINEERS  
REGISTERED IN THE STATE OF WISCONSIN  
LICENSE NO. 10101000000000000000000000000000

**STADIUM PARKWAY -  
JUDGE FRAN JAMIESON WAY TO  
ROSEMOUNT DRIVE**

**LOCATION MAP**

SCOTT M. CLARKE, P.E., P.L.L.  
STATE OF FLORIDA, No. 10003 IN. #101

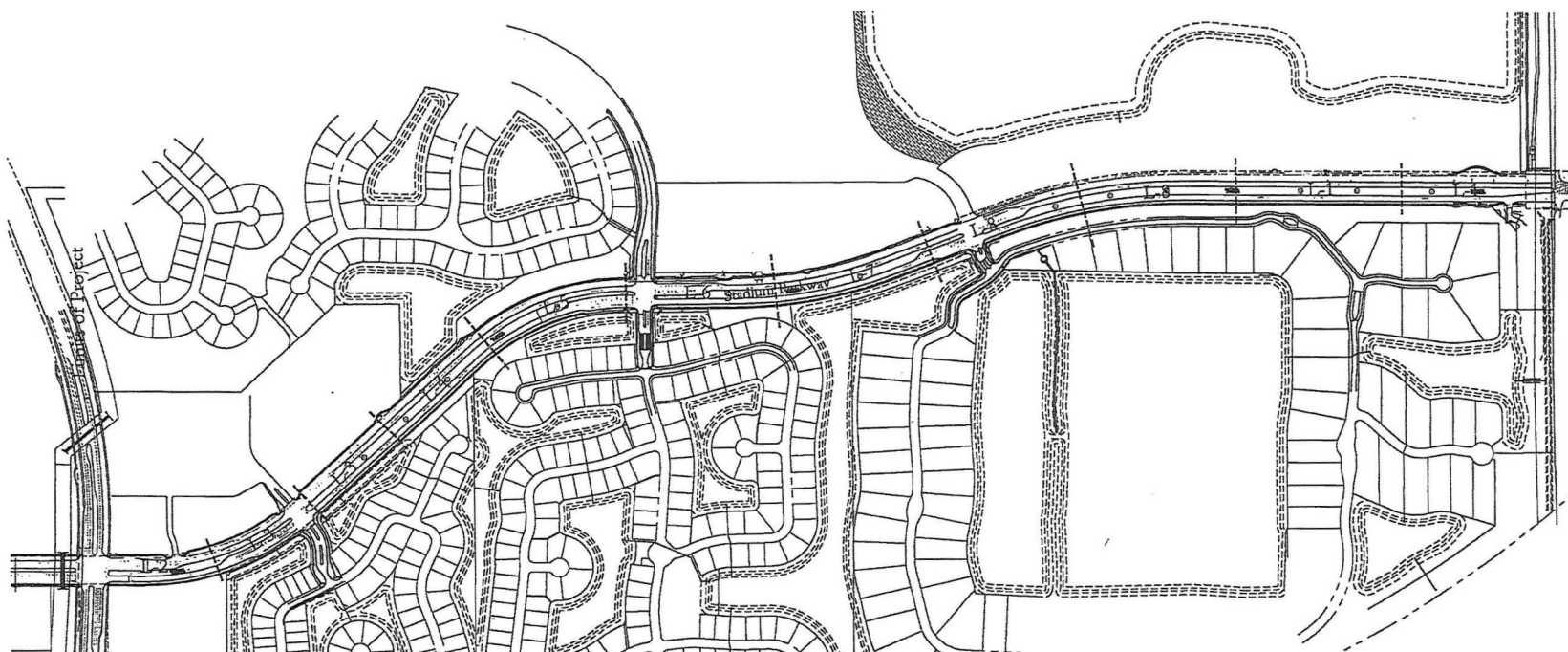
JAMES A. KIRBY, P.E.  
STATE OF FLORIDA, No. 47101

PROJECT NO.	10785.04
DRAWING NO.	1078504_216
SHEET	1 of 1

Exhibit "C"

Copy of the New Landscaping Plans



[illegible]

NOTE: LANDSCAPING PERFORMANCE STANDARDS PER SEC. 62-4341 AND THE WEST VIERA ALTERNATIVE DEVELOPMENT STANDARDS (ADS) FOR DETACHED SINGLE FAMILY UNITS, ZERO LOT LINE UNITS AND ATTACHED SINGLE FAMILY UNITS WILL BE ADDRESSED AND REVIEWED AT THE TIME OF BUILDING PERMIT REVIEW.

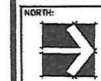
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[illegible]

REVISIONS:  
No. Date

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Stadium Parkway  
Viera, Florida  
Overall Landscape Plan

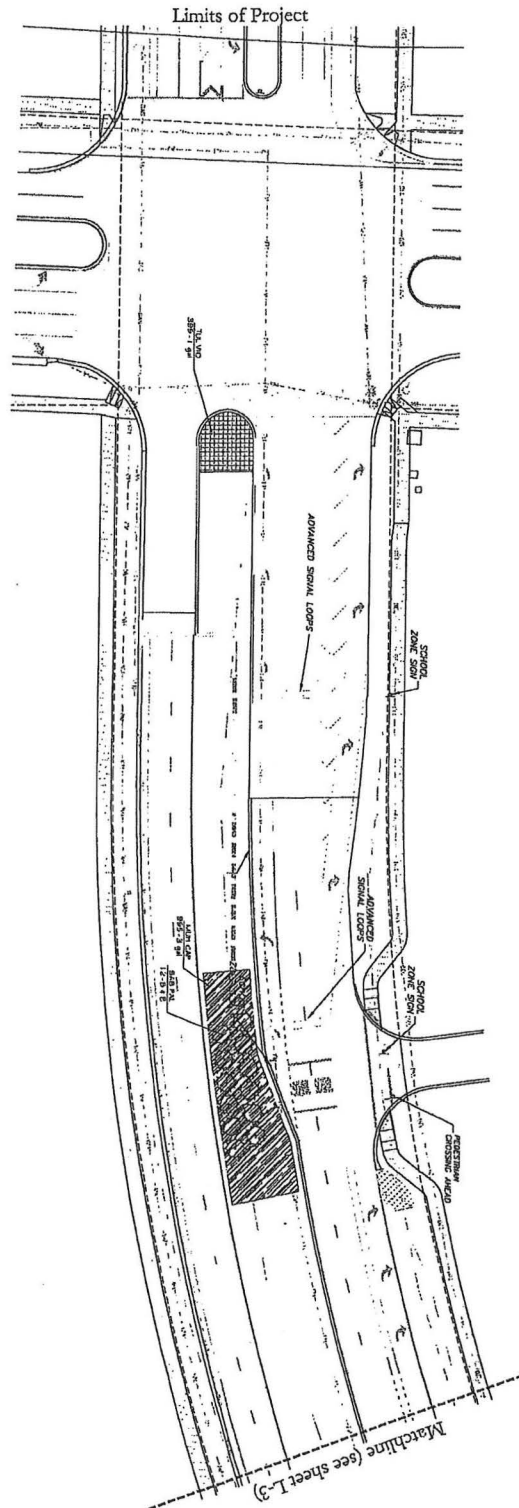
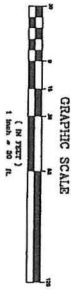


DATE: 7-27-16


SCALE: NONE

SHEET: 1 of 9

SHEET NO.: T 1



Environmental Design Services  
Landscape and Irrigation Design and Consulting  
Phone: (321) 288-6143

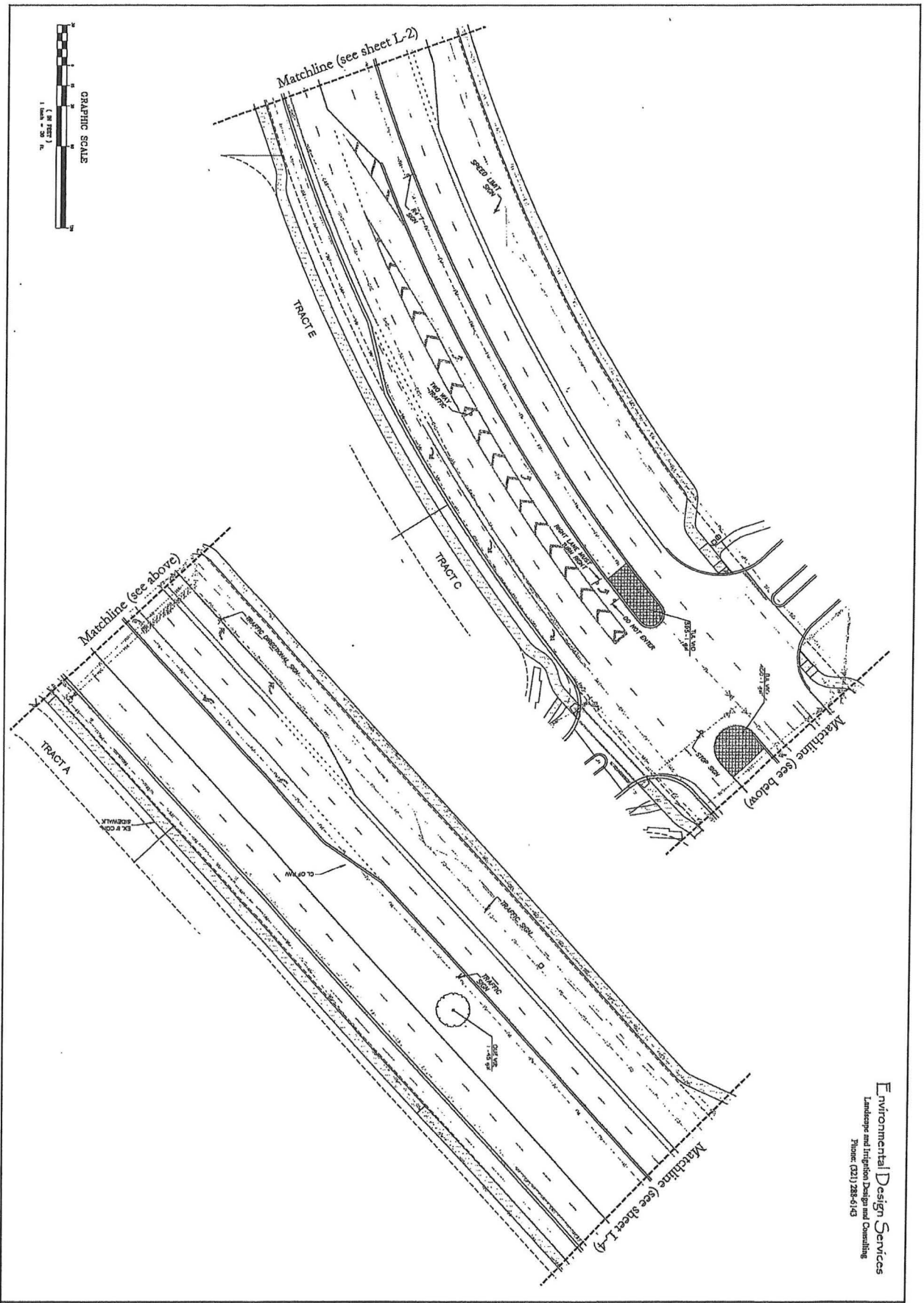

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 SCALE: 1" = 20'  
 SHEET: 2 of 3  
 SHEET NO.: I-2

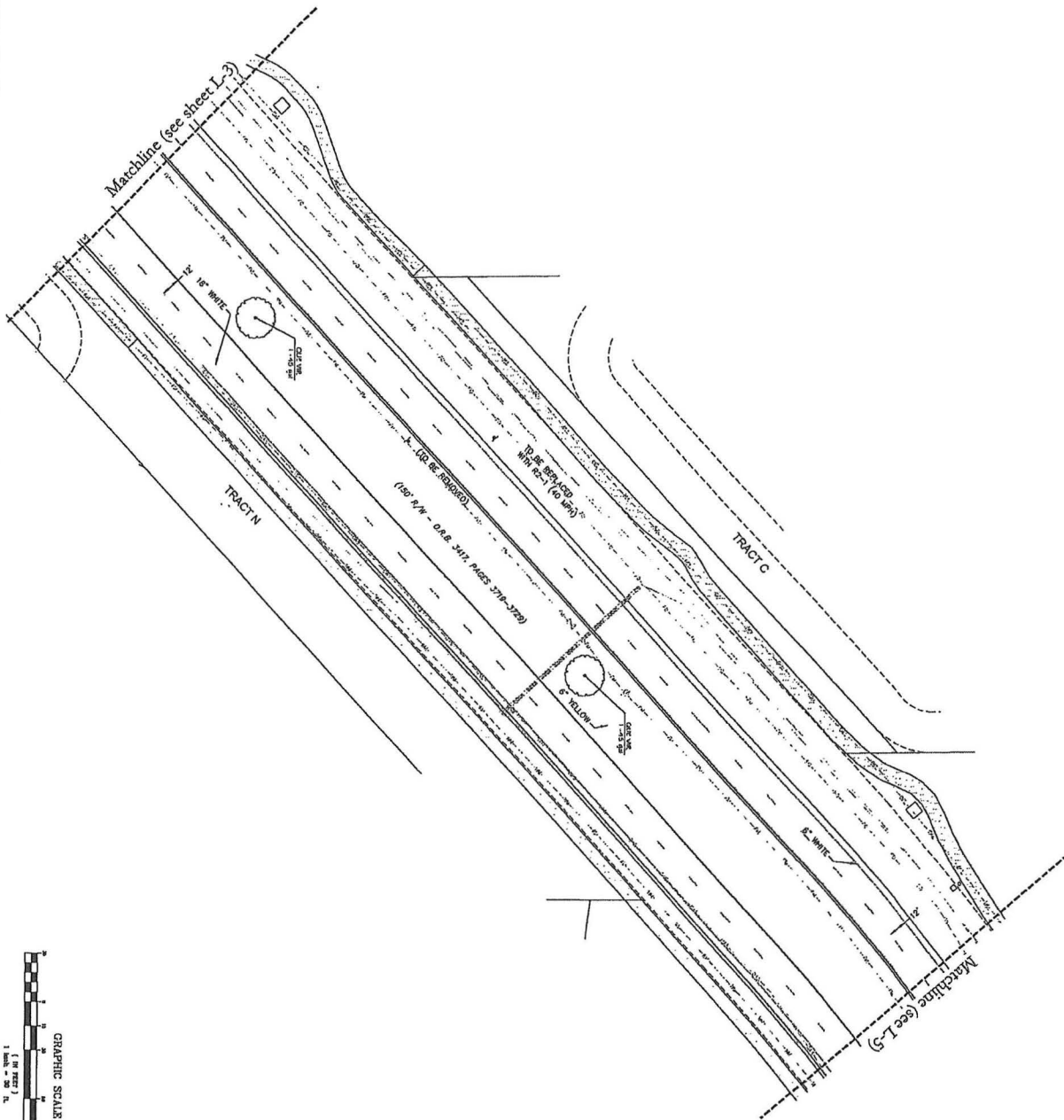
**Stadium Parkway**  
 Viera, Florida  
 Landscape Plan


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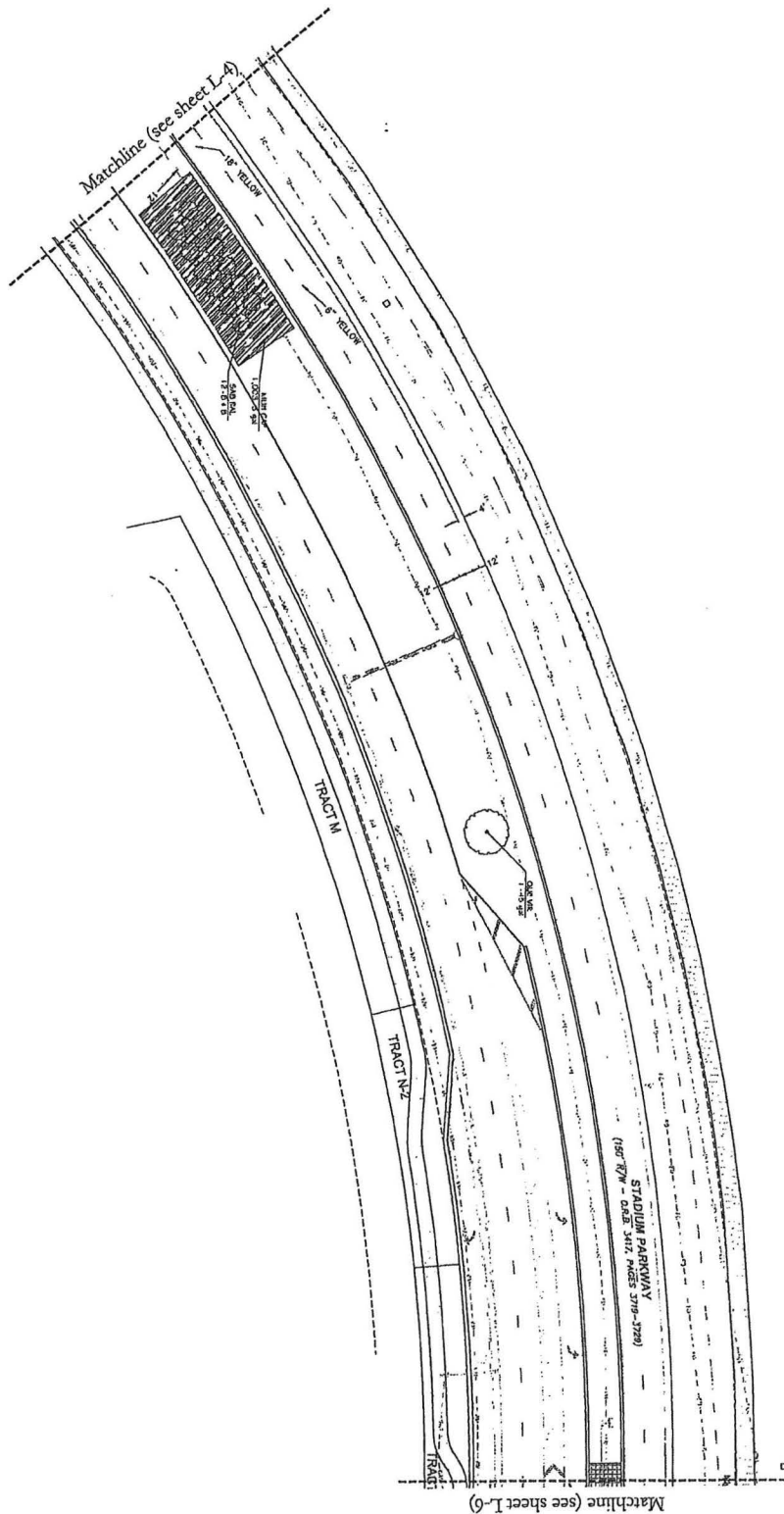
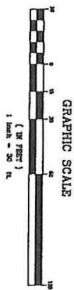
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	No.	Date	Description	By																				
1.																								
2.																								
3.																								
4.																								
DATE: 7-27-16 SCALE: 1"=20' SHEET: 1 of 5 SHEET NO.: L-4																								



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Landscape and Irrigation Design and Consulting  
Phone: (321) 288-6143

SHEET NO.  
**L-5**

DATE  
**7-27-18**

SCALE  
**1"=20'**

PROJECT  
**1.5.18**

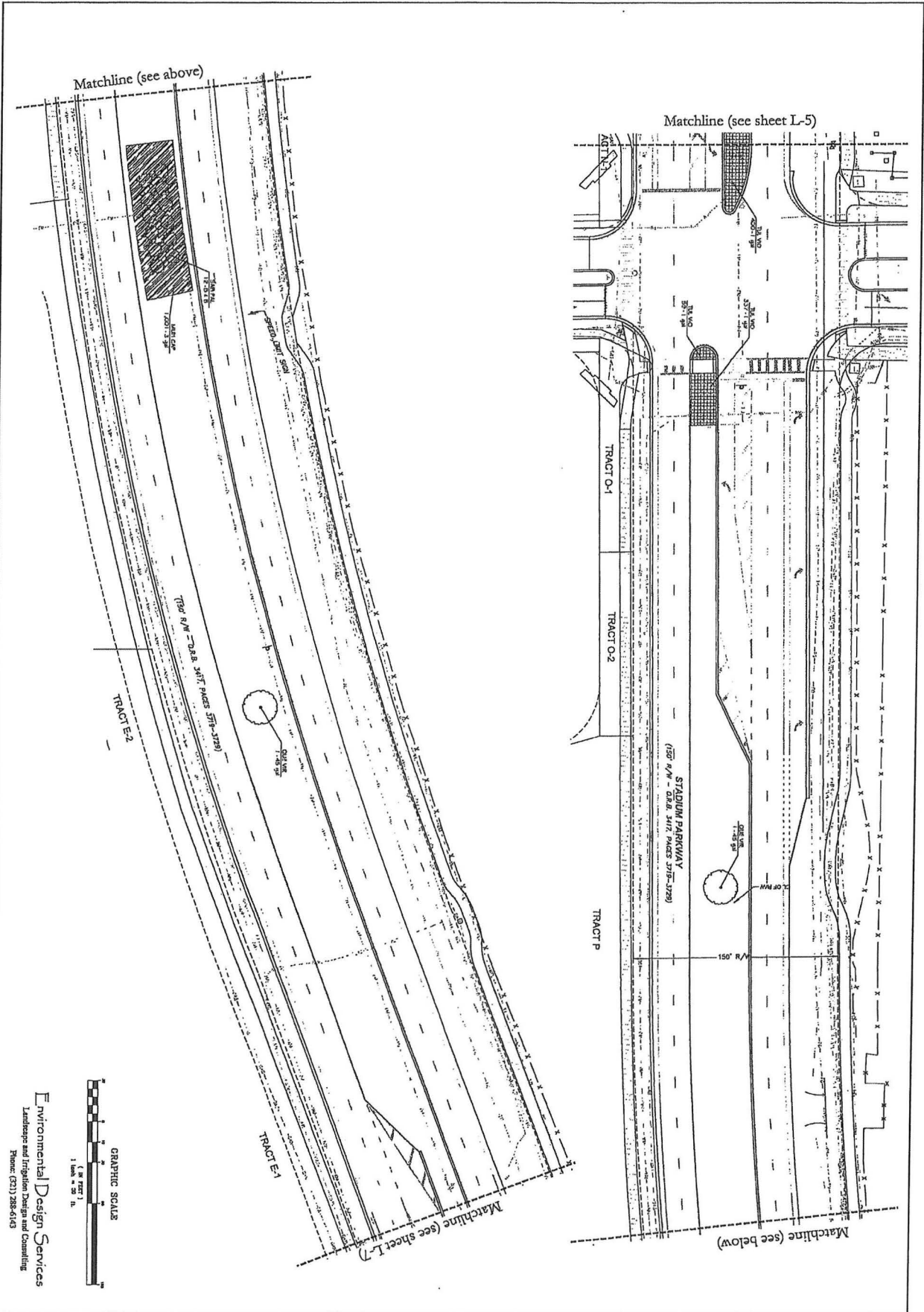


**Stadium Parkway**  
Viera, Florida  
Landscape Plan

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SHEET NO. 1-6

DATE 7-22-18

SCALE 1"=50'

SHEET 8 of 8



**Stadium Parkway**  
Viera, Florida  
Landscape Plan

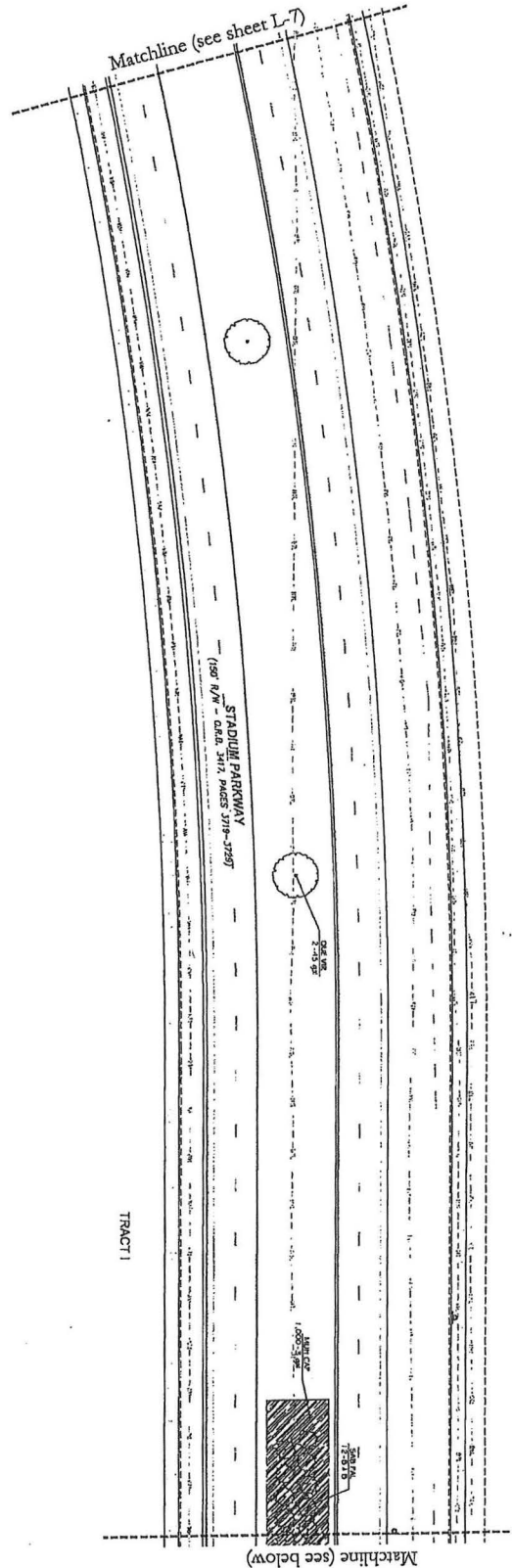
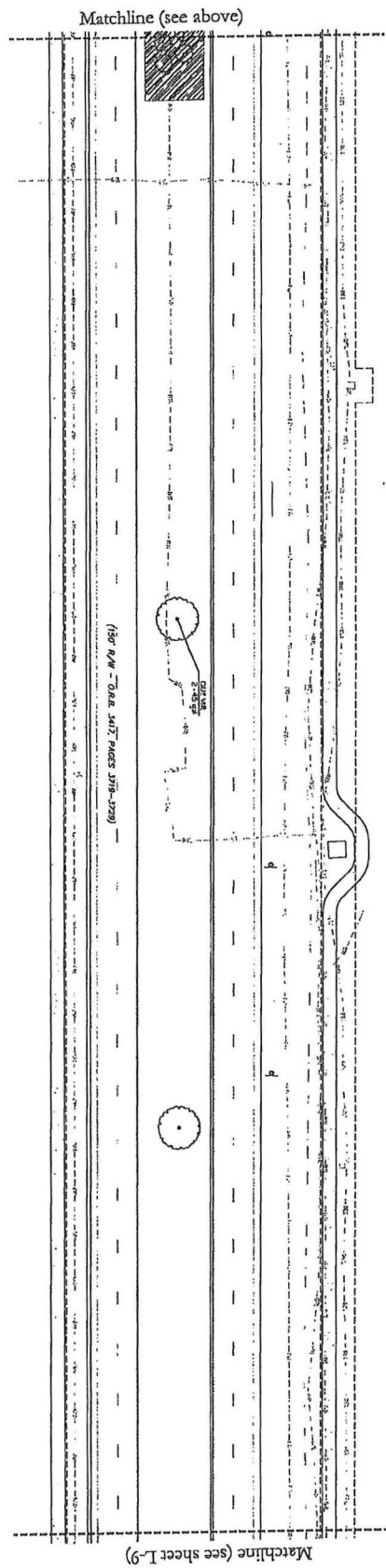
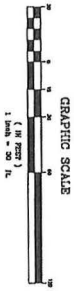
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	DATE:	7-27-18
	SCALE:	1" = 30'
	SHEET:	8 of 8
	SHEET NO.:	L-8

**Stadium Parkway**  
Viera, Florida  
Landscape Plan

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