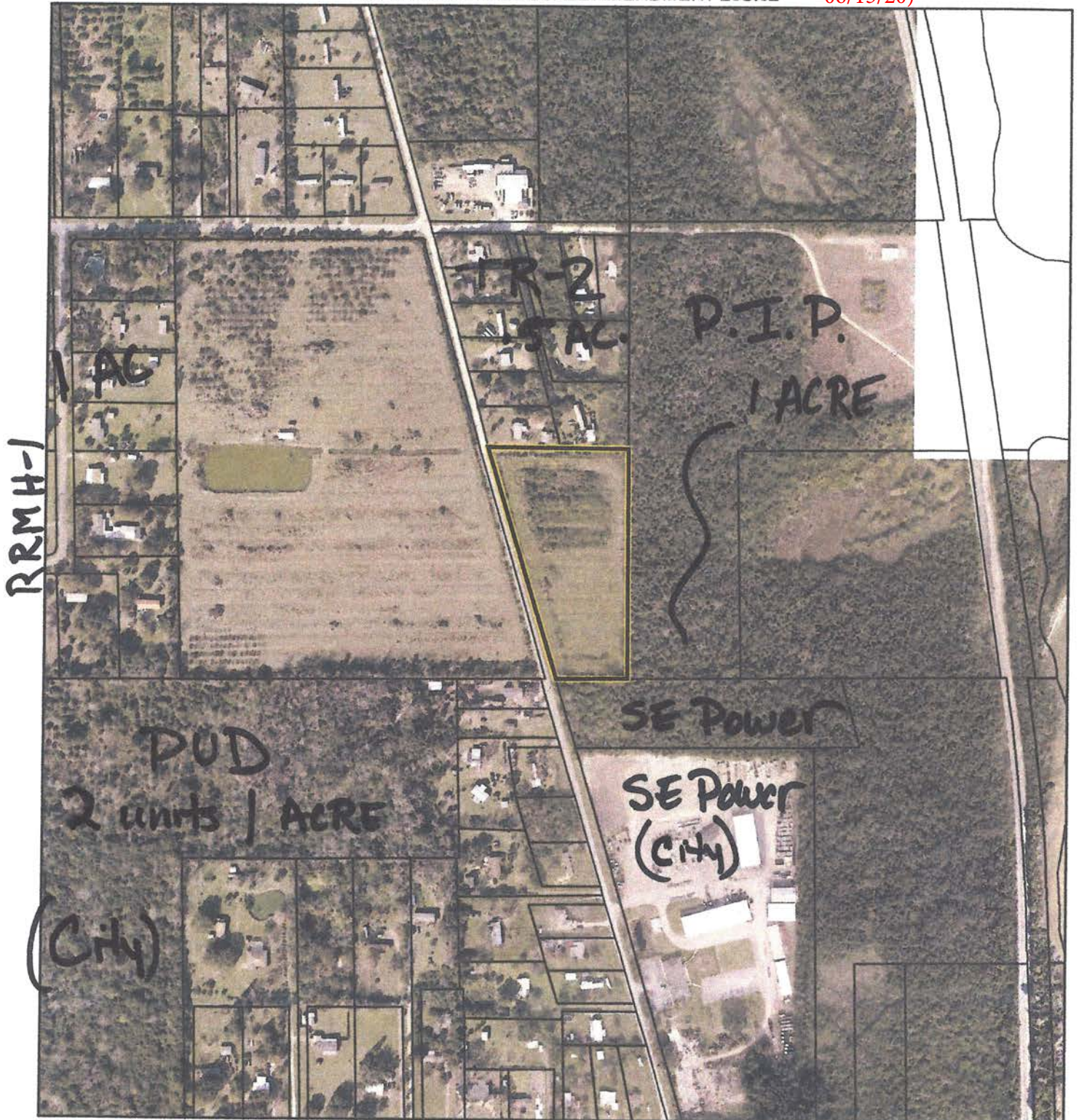


FYI
20PZ00024 and 19PZ00158
Goodenow
(Submitted by applicant
06/15/20)

AERIAL MAP

GOODENOW, THEODORE C.
20PZ00024 SMALL SCALE AMENDMENT 20S.02





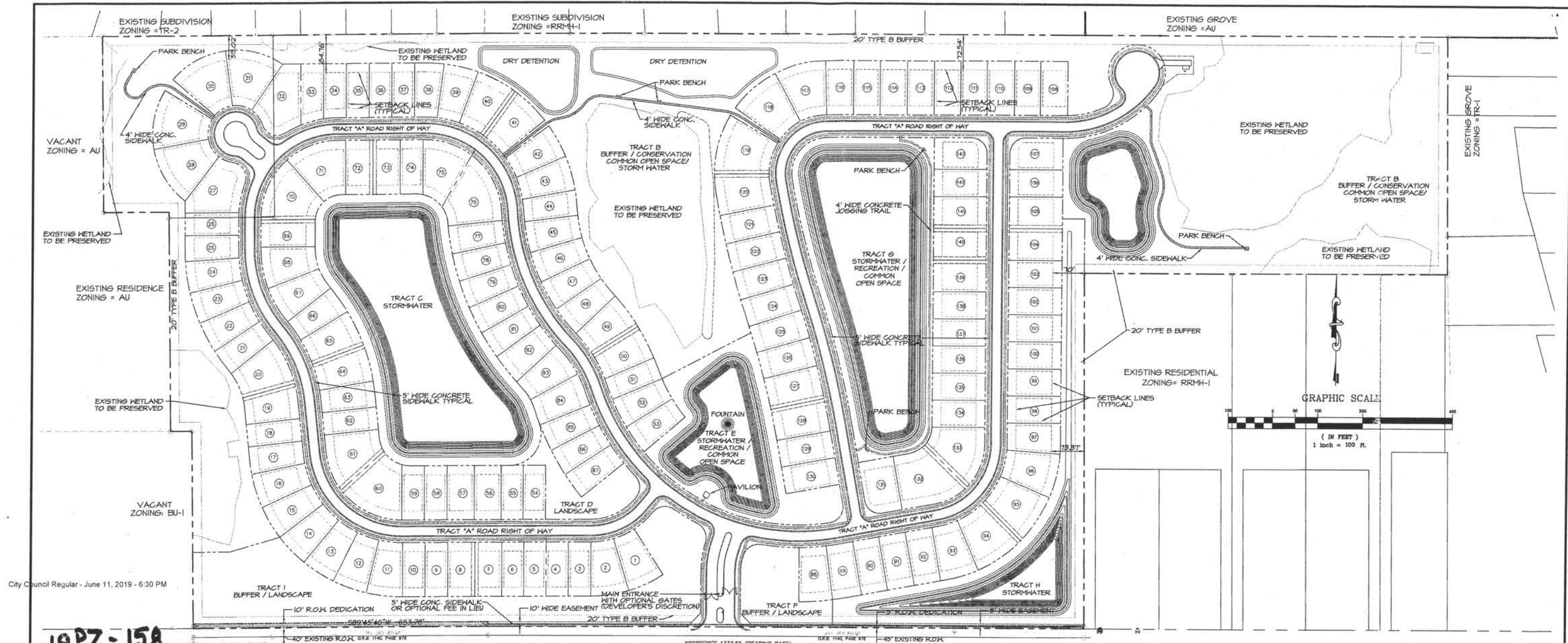
1:4,800 or 1 inch = 400 feet

PHOTO YEAR: 2019

This map was compiled from recorded documents and does not reflect an actual survey. The Brevard County Board of County Commissioners does not assume responsibility for errors or omissions hereon.

Produced by BoCC - GIS Date: 2/10/2020

 Subject Property
 Parcels



City Council Regular - June 11, 2019 - 6:30 PM

1APZ-158



SITE DATA

Owner / Applicant
AG VENTURES, LLC
4760 N. HARBOR CITY BLVD, SUITE 201
MELBOURNE, FL 32958
TELEPHONE: (321) 413-6225

Engineer
MASTELLER AND MOLIER, INC.
1655 27TH STREET, SUITE 2
VERO BEACH, FL 32960
TEL: (772) 567-5300 ~ FAX: (772) 794-1106

Surveyor (topographic)
MASTELLER, MOLIER AND TAYLOR
1655 27TH STREET, SUITE 2
VERO BEACH, FL 32960
TEL: (772) 564-0038 ~ FAX (772) 794-0847

Site Address
BROOKS LANDING SUBDIVISION
JAY JAY ROAD/EAST OF HIGHWAY US-1
CITY OF TITUSVILLE, FLORIDA
SECTION: 20 & 21 TOWNSHIP: 21 S, RANGE: 95 E

Project Description
143 LOT SINGLE FAMILY RESIDENTIAL SUBDIVISION

Tax ID #
21-35-20-00-00784.0-0000.00
21-35-20-00-00785.0-0000.00
21-35-20-00-00794.0-0000.00
21-35-21-00-00511.0-0000.00
21-35-21-00-00513.0-0000.00

Land Use/Zoning

Land Use: RESIDENTIAL
Zoning: RR-25
Site Information:
GROSS AREA: 11.94 ACRES
NET AREA AFTER R.O.W. DEDICATION: 11.64 ACRES
EXISTING SURFACE WATER: 1.73 ACRES
EXISTING WETLAND AREA: 4.2 ACRES
FLOOD ZONE: 1' and 1.5' by FEMA MAP 15 OF T21
EXISTING SOILS: BAGINER SAND, CHOCOE SAND, COPELAND COMPLEX, FELDA SAND, MYAKKA SAND, PARKWOOD FINE SAND, POMPANO FINE SAND, TAVARES FINE SAND, HABASSO SAND

Proposed Uses / Structures:
PROPOSED USES: RESIDENTIAL
PHASE ONE = 56 UNITS (PROPOSED)
PHASE TWO = 87 UNITS (PROPOSED)
TOTAL NUMBER OF UNITS = 143 UNITS

Traffic Projections:
143 SINGLE FAMILY UNITS @ 4.57 TRIPS PER DAY = 1,364 TPD

Density:
143 UNITS/11.94 ACRES = 1.19 UNITS/ACRE

Zoning Criteria

ZONING	PROPOSED
LOT DIMENSION*	PD
MIN LOT AREA	PROPOSED
MIN DEPTH	6,000 SF
MIN WIDTH	120'
MIN SETBACKS:	PROPOSED
FRONT	20'
REAR	5'
SIDE	5'
CORNER	10'
OPEN SPACE	REQUIRED: 35% or 25.14 AC. PROPOSED: *31.5% or 21.02 AC.

*SEE COMMON OPEN SPACE TABLE AT RIGHT

Project Schedule
START: JULY 2019
FINISH: DECEMBER 2022
PROPOSED BUILD-OUT DATE: 2022

EXISTING RESIDENTIAL ZONING= RRMH-1

Jurisdictional Permitting Requirements

CITY OF TITUSVILLE: PRELIMINARY PLAT PLAN APPROVAL
CITY OF TITUSVILLE: CONSTRUCTION PLANS APPROVAL
CITY OF TITUSVILLE: LAND CLEARING PERMIT
CITY OF TITUSVILLE: TREE REMOVAL PERMIT
CITY OF TITUSVILLE: CONCURRING APPROVAL
BREVARD COUNTY: RIGHT-OF-WAY PERMIT
BREVARD COUNTY: DRAINAGE CONNECTION PERMIT
CITY OF TITUSVILLE: UTILITIES PERMIT
ST. JOHNS RIVER MND: ENVIRONMENTAL RESOURCE PERMIT
FLORIDA DEP: NPDES N.O.I. & N.O.T.
FLORIDA DEP: WASTEWATER PERMIT
FLORIDA DEP: WATER DISTRIBUTION PERMIT

GENERAL NOTES
1. THIS SITE PLAN WILL COMPLY WITH THE CITY OF TITUSVILLE ORDINANCE REGARDING THE REMOVAL AND CONTROL IN PERPETUITY OF ALL NON-NATIVE INVASIVE SPECIES OF PLANTS.
2. THIS SITE PLAN WILL COMPLY WITH THE CITY OF TITUSVILLE ORDINANCE REGARDING SOIL PREPARATION AND MAINTENANCE IN PERPETUITY FOR ANY REQUIRED PLANTED LANDSCAPE.
3. ANY STATE AND FEDERAL PERMITS THAT MAY BE REQUIRED AS A RESULT OF LAND CLEARING AND LANDSCAPING ACTIVITIES ARE THE RESPONSIBILITY OF THE OWNER OR DESIGNER.
4. ANY CHANGES TO THE APPROVED LANDSCAPE AND/OR LAND CLEARING PLAN WILL BE CONFIRMED IN WRITING THROUGH THE CITY OF TITUSVILLE. FAILURE TO OBTAIN WRITTEN APPROVAL TO THE APPROVED LANDSCAPE AND/OR LAND CLEARING PLAN BY THE CITY OF TITUSVILLE MAY DELAY THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY AND/OR CERTIFICATE OF COMPLETION.

SPECIAL NOTES
1. UNITS ON LOTS 41-103 SHALL BE LIMITED TO ONE STORY HOMES.
2. MINIMUM SQUARE FOOTAGE FOR ALL HOMES SHALL BE 1,200 SQUARE FEET

LAND USE ALLOCATION TABLE

TRACT A: ROAD RIGHT OF WAY = 353,959 sf (8.13 ac)
TRACT B: BUFFER / CONSERVATION / COMMON OPEN SPACE / STORMWATER = 911,375 sf (20.92 ac)
TRACT C: STORMWATER MANAGEMENT = 181,209 sf (4.16 ac)
TRACT D: COMMON OPEN SPACE = 20,342 sf (0.47 ac)
TRACT E: STORMWATER MANAGEMENT / COMMON OPEN SPACE / RECREATION = 91,895 sf (2.11 ac)
TRACT F: BUFFER / COMMON OPEN SPACE = 25,591 sf (0.59 ac)
TRACT G: STORMWATER MANAGEMENT / COMMON OPEN SPACE / RECREATION = 173,829 sf (3.99 ac)
TRACT H: STORMWATER MANAGEMENT = 112,490 sf (2.58 ac)
TRACT I: BUFFER / LANDSCAPE = 122,239 sf (2.81 ac)
RESIDENTIAL LOTS: 1,129,747 sf (25.93 ac)
R.O.W. DEDICATION: 13,206 sf (0.30 ac)
PROJECT TOTAL: 3,135,879 sf (71.99 ac)

COMMON OPEN SPACE

TRACT B: BUFFER / CONSERVATION / COMMON OPEN SPACE / STORMWATER = 911,375 sf (20.92 ac)
TRACT E: STORMWATER MANAGEMENT / COMMON OPEN SPACE / RECREATION = 91,895 sf (2.11 ac)
TRACT G: STORMWATER MANAGEMENT / COMMON OPEN SPACE / RECREATION = 173,829 sf (3.99 ac)
TOTAL COMMON OPEN SPACE: = 1,177,099 SF (27.02 AC) = 37.5%

MASTER PLAN

BROOKS LANDING

143 UNIT SINGLE FAMILY SUBDIVISION

CITY OF TITUSVILLE

FLORIDA

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PRELIMINARY

STEPHEN E. MOLIER, P.E. FL #33193

DRAWN	SH
DESIGNED	SH
CHECKED	SEM
DATE	11/17
SCALE	1" = 100'
SHEET	1 OF 1
DWG NO	1760

ORDINANCE NO. 24-2019

AN ORDINANCE OF THE CITY OF TITUSVILLE, FLORIDA, AMENDING ORDINANCE NO. 5-1993, BY AMENDING THE ZONING MAP MADE A PART OF SAID ORDINANCE BY REFERENCE BY REPLACING THE PRESENT PLANNED UNIT DEVELOPMENT ZONING (PUDZ) AND OPEN SPACE AND RECREATION (OR) ZONING TO PLANNED DEVELOPMENT (PD) ZONING FOR CERTAIN PROPERTY APPROXIMATELY 71.76 ACRES IN SIZE, HAVING TAX ID NUMBERS 2104776, 2104775, 2104780, 2105271, 2105270, LOCATED APPROXIMATELY 1,500 FEET EAST OF U.S. HIGHWAY 1 ON THE NORTH SIDE OF JAY JAY ROAD; AND PROVIDING FOR AN EFFECTIVE DATE.

BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF TITUSVILLE, FLORIDA as follows:

Section 1. Ordinance No. 5-1993 is hereby amended by amending the Zoning Map of the City of Titusville, Florida, made a part of said Ordinance by reference, by designating the following property described in Exhibit A with conditions and associated Master Plan in Exhibit B to be rezoned from Planned Unit Development Zoning (PUDZ)) and Open Space and Recreation (OR) to Planned Development (PD) zoning classification.

Section 2. This ordinance shall take effect simultaneously with the effective date of Comprehensive Plan Amendment (CPA) No. 1-2018 contained in Ordinance No. 23-2019.

PASSED AND ADOPTED this 11 day of June, 2019.


Walt Johnson, Mayor

ATTEST:

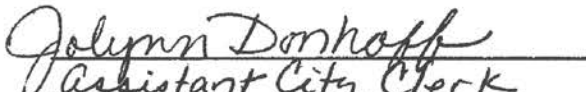

Assistant City Clerk
Wanda P. Wells, City Clerk



Exhibit A – Planned Development Ordinance

Brooks Landing Subdivision

1.1 DESCRIPTION:

The Brooks Landing Subdivision has a total project area of approximately 71.76 Acres and consists of single-family homes, common open space, and associated infrastructure.

1.2 LEGAL DESCRIPTION:

Parcels - 2,3,4,5 on map

Commencing at the Southeast corner of Section 20, Township 21, Range 35 East; Thence N. 00°42'27" W. along the East line of said Section 20 a distance of 20 feet to the point of beginning; Thence S. 89°45'46" W. a distance of 653.78 feet to a point; Thence N. 00°42'27" W., A distance of 437.50 feet; Thence S. 89°45'47" W. a distance of 47.32 feet to an intersection with the West line of that certain parcel described in Deed Book 901, page 172, Public Records of Brevard County, FL; Thence N. 00°42'27" W. along said West line, a distance of 472.50 feet to the North line of said certain parcel; Thence N. 89°45'47" E. along said North line, a distance of 236.09 feet; Thence N. 00°42'27" W. a distance of 402.70 feet to the South line of Brady Grove Park Subdivision, first and second addition, as recorded in Plat Book 28, Page 58 Public Records of Brevard County, FL.; Thence N. 89°44'53" E. along said South line, a distance of 465 feet to an intersection with the said East line of section 20; Thence continue along said South line and along the South line of Brady Grove Park Subdivision as recorded in Plat Book 25, page 43 of the Public Records of Brevard County, FL N. 89°57'03" E., a distance of 1,339.88 feet; Thence N. 89°57'24" E. along the North line of the South ½ of the Southwest ¼ of Section 21, Township 21, Range 35 East, a distance of 806.97 feet to the East line of that certain parcel as described in Deed Book 66, page 418 Public Records of Brevard County, FL; Thence S. 00°33'55" E. along said East line, a distance of 525.70 feet to a intersection with the South line of said certain parcel described in Deed Book 66, Page 418; Thence S. 89°56'01" W. along said South line, a distance of 808.81 feet to an intersection with the East line of that certain parcel described in Deed Book 44, page 418 of the public records of Brevard County, FL; Thence S. 00°28'53" E. along said East line a distance of 787.90 feet to a point said point being 20 feet North of as measured perpendicular to the South line of said Section 21; Thence West and parallel with the said South Line of Section 21 a distance of 1,333.68 feet to the point of Beginning. Containing 2,984,515.14 Sq. Ft. or 68.5150 acres More or less.

Parcel – 1 on map

Commencing at the Southwest corner of Section 20, Township 21, Range 35 East; Thence N. 00°42'27' W. along the East line of said Section 20 a distance of 20 feet; Thence S. 89°45'46", a distance of 653.78 feet to a point; Thence N. 00°42'27" W., a distance of 437.50 feet; Thence S. 89°45'47" W. a distance of 47.32 feet to an intersection with the West line of that certain parcel described in Deed Book 90, Page 172, Public Records of Brevard County, FL.; Thence N. 00°42'27" along said West line, a distance of 472.50 feet to the North line of said parcel and the point of beginning; Thence continue N. 00°42'27" W. a distance of 12.70 feet; Thence S. 89°45'47" W. a distance of 144.36 feet to a West line of that certain parcel described in Deed Book UU, Page 193, Paragraph 786, Township 21 South, Range 35 East, Section 20, Brevard County, FL. Thence N. 00°42'27" along said West line a distance of 389.93 feet to an intersection with the South line of Brady Grove Park Subdivision, First and Second addition, as recorded in Plat Book 28, Page 58, Public Records of Brevard County, FL.; Thence N. 89°44'53" E. along said South line a distance of 380.46 feet to an intersection with the West line of that

certain parcel described in Deed Book 90, Page 172, Public Records of Brevard County, FL; Thence South along said West line a distance of 402.70 feet; Thence S. 89°45'47" W. a distance of 236.09 feet to a point of beginning.
Containing 141,570 Sq. Ft. or 3.25 Acres, More or Less

1.3 REFERENCE TO GENERAL DEVELOPMENT PLAN:

The Brooks Landing Subdivision shall be implemented in accordance with the approved Master Plan.

1.4 PERMITTED USES:

Single-Family Detached Dwellings
Parks and common recreational areas

1.4.1 PERMITTED ACCESSORY USES:

Private swimming pools including screen enclosures
Detached accessory structures
Home based businesses as permitted by the City of Titusville

1.4.2 PROHIBITED USES:

Accessory Dwelling Units

1.5 DENSITY/INTENSITY MINIMUMS AND MAXIMUMS:

Maximum of one-hundred forty-three (143) single-family residential units.

1.6 CRITICAL DESIGN FEATURES:

Critical features of this project are the preservation of existing wetlands; preservation of the 100-year floodplain; and the provision of common recreational facilities in the form of ADA accessible, improved walking trails in Tracts B, and G, and a pavilion and fountain in Tract E. Additionally, a playground and/or 30x30 foot pavilion will be included within Tract I across the street from the pavilion in Tract E.

Due to the extended response time for emergency services and narrow side yard setbacks allowed by this PD, a fire suppression system acceptable to the Fire Marshal shall be installed in each home.

LAND USE ALLOCATION TABLE: (Based on associated master plan)

(Values are approximate and may be adjusted to meet engineering requirements through the site plan review process, consistent with Section 1.12 of this Ordinance)

Total project	71.97 AC
Residential	21.18 AC
Open Space	26.09 AC
Stormwater, road and perimeter buffers	24.70 AC

1.7 AREA, HEIGHT, BULK & OPEN SPACE REQUIREMENTS:

Min. Lot Area	6,000 Sq. Ft.
Min. Lot Width	50 Ft. (Lot width shall be defined as the distance between the side lot lines at the front yard setback as shown on the Recorded Plat)
Min. Floor Area	1200 Sq. Ft.
Max. Building Height	35 Ft., Except homes on lots 97-103 as shown on the Master Plan shall be limited to one (1) story

Max. Building Coverage	45% per lot
Maximum Impervious Coverage	65% per lot

Principal Structure Setbacks

Front	20 Ft.
Rear	20 Ft.
Side	5 Ft.
Side Corner	10 Ft. (Lots 107, 131, and 143 as illustrated on the master plan)

Accessory Structure Setbacks

Rear	5 Ft.
Side	5 Ft.
Side corner	20 Ft.

No accessory structure shall be placed in the front yard

1.8 ROADWAY DESIGN / TRAFFIC CIRCULATION

Roadway layout and traffic circulation internal to the site is illustrated on the Master Plan. The project will be provided with public road meeting the minimum standards for a local road right-of-way with pavement, curb, and sidewalks meeting the standards of the City of Titusville as depicted in the Master Plan. The roadway will provide sufficient space for emergency vehicles.

Internal streets shall be built to the standards specified in the City's Transportation Infrastructure Technical Manual, unless a waiver is granted by the Development Review Committee (DRC). The length of the cul-de-sac in the northeast corner of the property shall be reduced from the length depicted on the master plan to be adjacent to lots 107 and 108.

The 10-foot wide right-of-way dedication located on the north side of Jay Jay Road that is illustrated on the master plan may be in the form of an easement to the City.

1.9 UTILITIES:

Potable water and sanitary sewer service to be provided by the City of Titusville. The water main lines shall be extended to create a loop from the terminus of the existing water main on U.S. 1 and extending north to the intersection with Jay Jay Road, and then east of Jay Jay Road connecting to the existing water main that extends through the Chain of Lakes Park.

1.10 NATURAL RESOURCES:

Conservation areas to be owned and maintained by the Homeowners Association with a maintenance plan based on best management practices. Open Space Areas, including buffers and publicly accessible recreation areas, to be owned and maintained by the Homeowners Association in accordance with the requirements of the City of Titusville. The declarations and covenants governing the Homeowners Association shall be in a form and provide detail acceptable to the City.

All wetland areas to be preserved on site, as depicted by the Master Plan and described as wetlands # 1, 2, 3, 4, 5, and 9 on the survey dated 8/1/2018, shall be protected by a conservation easement.

1.11 BUFFERING /SCREENING:

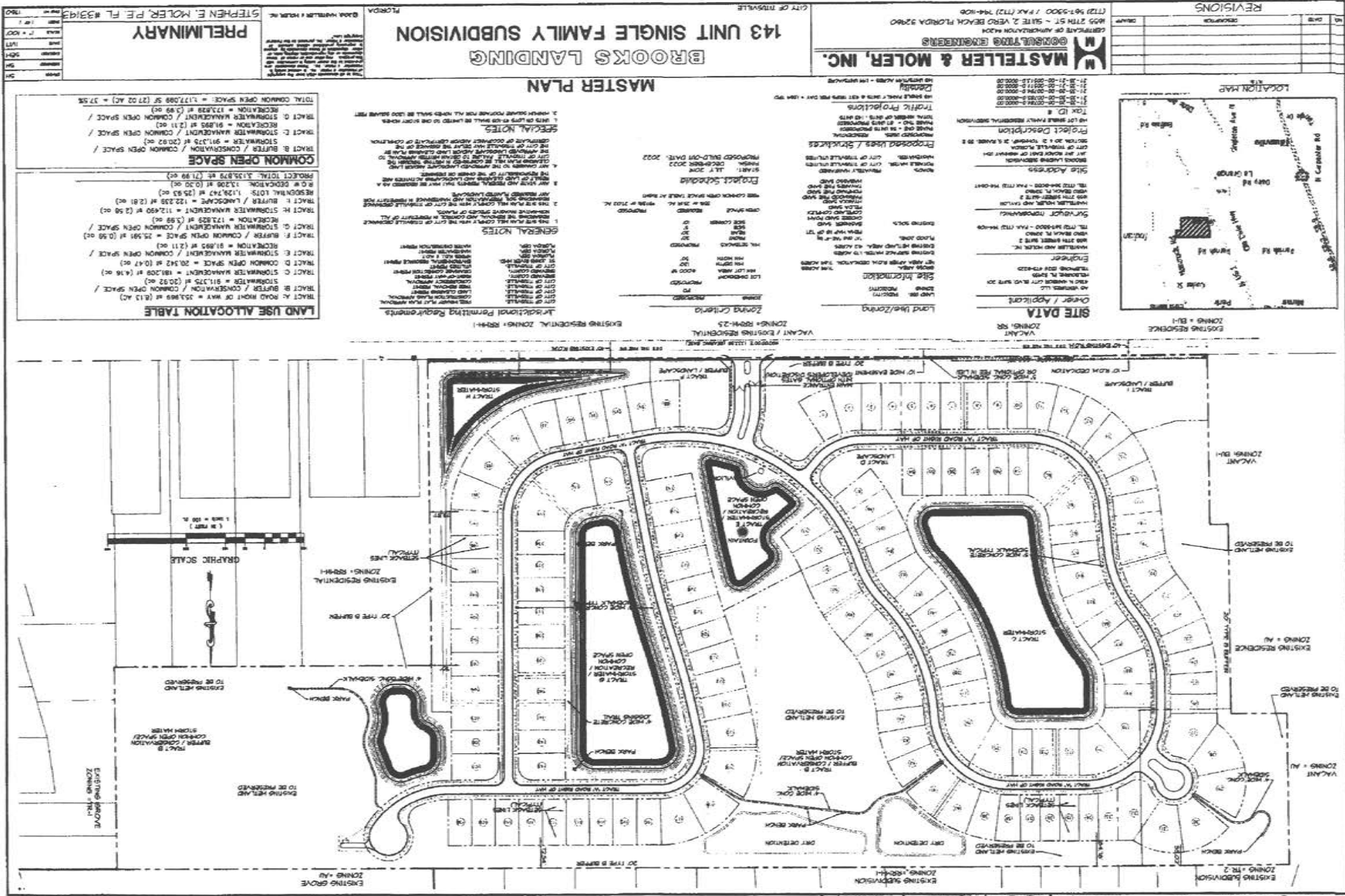
A twenty (20) foot perimeter landscaped buffer will be established consistent with City of Titusville Land Development Regulations as illustrated on the master plan. A minimum seventy (70) foot buffer, which includes the twenty (20) foot required perimeter landscape buffer and the twenty

(20) foot rear lot setback, to the property line along the north and east property boundaries, with the exception of lots 30 and 31. Pools and screen enclosures shall be permitted within the rear yard setback provided they meet the accessory structure setbacks setback in Section 1.7, Area, Height, Bulk & Open Space Requirements.

1.12 PROCEDURES:

The sketch plat for this development shall be in conformance with the attached master plan to the greatest extent possible.

Amendments will follow the procedures set forth in Chapter 34, Article II, Division 3 Master Plans of the Code.



PRELIMINARY

143 UNIT SINGLE FAMILY SUBDIVISION

MASTELLER & MOLER, INC.

REVISIONS

STEPHEN E. MOLER, P.E., FL #33143

BROOKS LANDING

CONSULTING ENGINEERS

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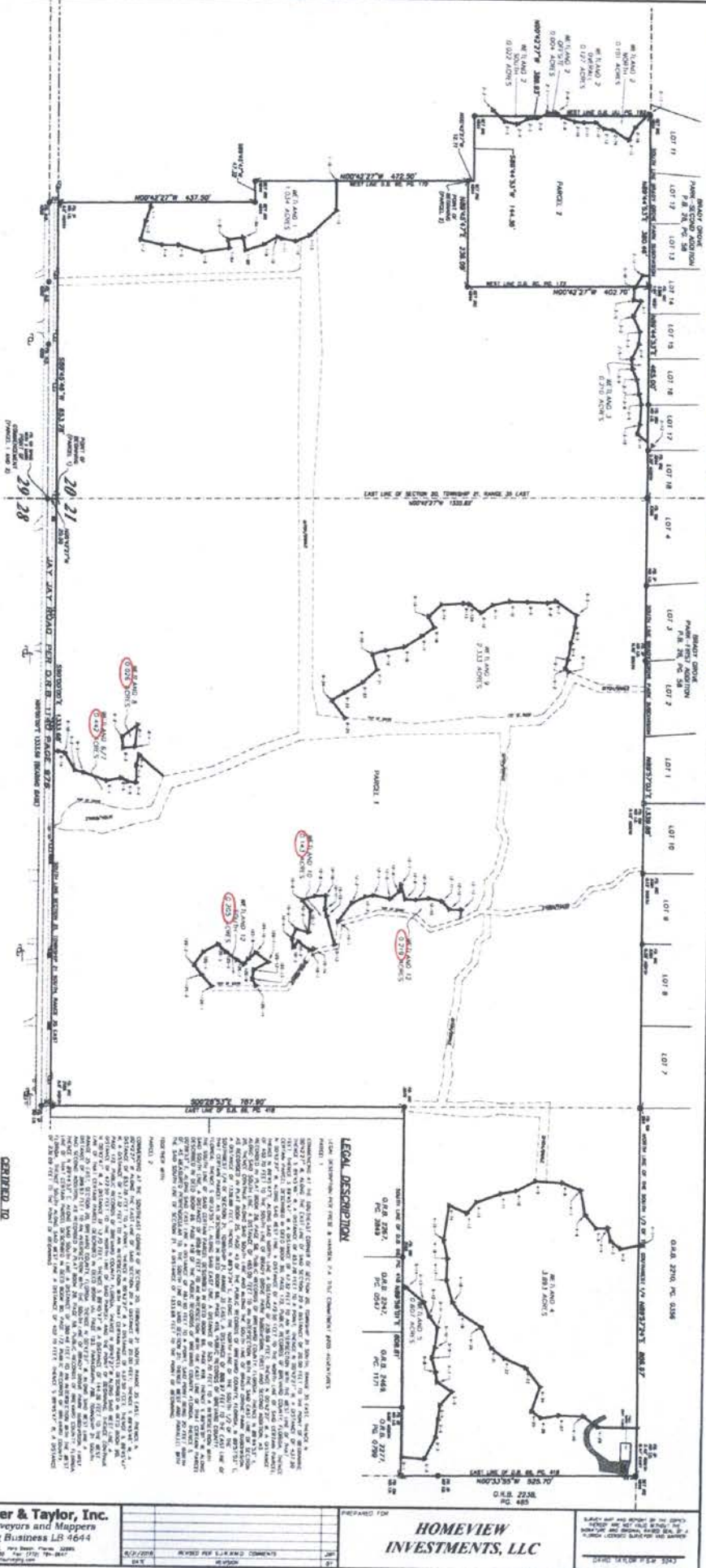
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Attachment B - Ordinance No. 24-2019



**Map of Survey
Performed For
Homeview Investments, LLC**

CERTIFIED TO



Masteller, Moler & Taylor, Inc.
Professional Surveyors and Mappers
Land Surveying Business LB 4644

**HOMVIEW
INVESTMENTS, LLC**

SAFETY SEAL AND REMOVED BY THE COPIES
THEREIN ARE NOT VALID WITHOUT THE
SIGNATURE AND ORIGINAL, RAISED SEAL OF
A JUDGE LICENSED SUPERIOR AND BARREN

Ordinance No. 24-2019

CA: Planning Dept. (P. Busacca)

6.25.19 Legal (K. Broom)



Brevard County Property Appraiser

Titusville • Merritt Island • Viera • Melbourne • Palm Bay

Phone: (321) 264-6700

<https://www.bcpao.us>

PROPERTY DETAILS

Account 2105305
 Owners Mills, G Ernest Jr; Mills, Mary C
 Mailing Address 1945 Hammock Rd Titusville FL 32796
 Site Address 1945 Hammock Rd Titusville FL 32796
 Parcel ID 21-35-21-00-547
 Property Use 0113 - Single Family - Modular
 Exemptions HEX1 - Homestead First
 HEX2 - Homestead Additional
 Taxing District 1300 - Unincorp District 1
 Total Acres 0.59
 Subdivision --
 Site Code 0001 - No Other Code Appl.
 Plat Book/Page 0000/0000
 Land Description Part Of NE 1/4 Of NE 1/4 Of SW 1/4 E Of Hammock Rd
 As Desc IN Orb 2906 Pg 1580



VALUE SUMMARY

Category	2019	2018	2017
Market Value	\$61,560	\$50,010	\$45,530
Agricultural Land Value	\$0	\$0	\$0
Assessed Value Non-School	\$42,620	\$41,830	\$40,970
Assessed Value School	\$42,620	\$41,830	\$40,970
Homestead Exemption	\$25,000	\$25,000	\$25,000
Additional Homestead	\$0	\$0	\$0
Other Exemptions	\$0	\$0	\$0
Taxable Value Non-School	\$17,620	\$16,830	\$15,970
Taxable Value School	\$17,620	\$16,830	\$15,970

SALES/TRANSFERS

Date	Price	Type	Parcel	Deed
04/16/2013	\$16,000	WD	Improved	6897/0436
03/28/2006	\$85,000	WD	Improved	5624/1655
02/28/1995	\$50,000	WD	Improved	3454/2535
04/01/1994	\$3,500	QC	Improved	3409/2089
03/15/1988	\$5,000	WD	--	2906/1580

BUILDINGS

PROPERTY DATA CARD #1

Building Use: 0113 - Single Family - Modular

Materials	Details
Exterior Wall: Brd/Lap Siding	Year Built 1988
Frame: Wood Frame	Story Height 8
Roof: Asph/Asb Shngl	Floors 1
Roof Structure: Hip/Gable	Residential Units 1
	Commercial Units 0
Sub-Areas	Extra Features
Base Area (1st) 1,012	Patio - Concrete 288
Total Base Area 1,012	Outbuilding 504
Total Sub Area 1,012	Covered Patio 240



Brevard County Property Appraiser

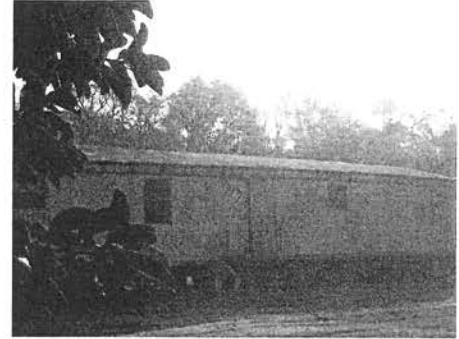
Titusville • Merritt Island • Viera • Melbourne • Palm Bay

Phone: (321) 264-6700

<https://www.bcpao.us>

PROPERTY DETAILS

Account 2105306
 Owners Salter, Robert T
 Mailing Address 3060 Dairy Rd Titusville FL 32796
 Site Address 2095 Parrish Rd Titusville FL 32796
 Parcel ID 21-35-21-00-548
 Property Use 0212 - Manufactured Housing - Single Wide
 Exemptions None
 Taxing District 1300 - Unincorp District 1
 Total Acres 1.26
 Subdivision --
 Site Code 0001 - No Other Code Appl.
 Plat Book/Page 0000/0000
 Land Description Part Of NE 1/4 Of NE 1/4 Of SW 1/4 E Of Hammock Rd
 As Desc IN Orb 2931 Pg 2072



VALUE SUMMARY

Category	2019	2018	2017
Market Value	\$35,670	\$35,020	\$32,950
Agricultural Land Value	\$0	\$0	\$0
Assessed Value Non-School	\$35,670	\$35,020	\$32,950
Assessed Value School	\$35,670	\$35,020	\$32,950
Homestead Exemption	\$0	\$0	\$0
Additional Homestead	\$0	\$0	\$0
Other Exemptions	\$0	\$0	\$0
Taxable Value Non-School	\$35,670	\$35,020	\$32,950
Taxable Value School	\$35,670	\$35,020	\$32,950

SALES/TRANSFERS

Date	Price	Type	Parcel	Deed
08/02/1988	\$13,800	WD	--	2931/2072

BUILDINGS

PROPERTY DATA CARD #1

Building Use: 0212 - Manufactured Housing - Single Wide

Materials

Exterior Wall:	Vinyl/Aluminum	Year Built	1987
Frame:	Wood Frame	Story Height	8
Roof:	Bu-Tg/Mmbrn	Floors	1
Roof Structure:	Hip/Gable	Residential Units	1
		Commercial Units	0

Sub-Areas

Base Area (1st)	1,064	Wood Deck	160
Total Base Area	1,064	Skirting - Metal/Vinyl	180
Total Sub Area	1,064	Outbuilding	704
		Wood Deck	64



Brevard County Property Appraiser

Titusville • Merritt Island • Viera • Melbourne • Palm Bay

Phone: (321) 264-6700

<https://www.bcpao.us>

PROPERTY DETAILS

Account 2105332
 Owners Flenner, Janice; Webster, Nancy L
 Mailing Address 1991 Brady Grove Rd Titusville FL 32796
 Site Address 1991 Brady Grove Rd Titusville FL 32796
 Parcel ID 21-35-21-51-2-1
 Property Use 0110 - Single Family Residence
 Exemptions HEX1 - Homestead First
 HEX2 - Homestead Additional
 Taxing District 1300 - Unincorp District 1
 Total Acres 1.25
 Subdivision Brady Grove Park
 Site Code 0001 - No Other Code Appl.
 Plat Book/Page 0025/0043
 Land Description Brady Grove Park Lot 1 & N 2 Ft Of Lot 2 Blk 2



VALUE SUMMARY

Category	2019	2018	2017
Market Value	\$205,760	\$198,370	\$177,260
Agricultural Land Value	\$0	\$0	\$0
Assessed Value Non-School	\$167,160	\$198,370	\$177,260
Assessed Value School	\$167,160	\$198,370	\$177,260
Homestead Exemption	\$25,000	\$0	\$0
Additional Homestead	\$25,000	\$0	\$0
Other Exemptions	\$0	\$0	\$0
Taxable Value Non-School	\$117,160	\$198,370	\$177,260
Taxable Value School	\$142,160	\$198,370	\$177,260

SALES/TRANSFERS

Date	Price	Type	Parcel	Deed
07/31/2017	\$126,000	WD	Improved	7956/2178
07/31/2017	--	QC	Improved	7956/2170
07/31/2017	--	QC	Improved	7956/2163
09/08/2016	--	CT	Improved	7705/2706
12/07/2015	--	CT	Improved	7507/0791
10/03/2006	\$50,000	QC	Improved	5705/6512
01/17/2001	--	WD	Improved	4661/3501
10/01/1998	\$50,000	PT	Improved	3918/2635
12/01/1994	--	PT	Improved	3445/2673
07/30/1982	--	QC	--	2399/0627
06/01/1979	\$17,800	--	--	2062/0811
02/01/1979	\$1,000	--	--	2005/0178

BUILDINGS

PROPERTY DATA CARD #1

Building Use: 0110 - Single Family Residence

Materials	Details	
Exterior Wall:	Brick	Year Built 1979
Frame:	Wood Frame	Story Height 8
Roof:	Asph/Asb Shngl	Floors 1
Roof Structure:	Hip/Gable	Residential Units 1

		Commercial Units	0
Sub-Areas		Extra Features	
Base Area (1st)	2,678	Pole Barn	576
Total Base Area	2,678	Garage Detached	552
Total Sub Area	2,678	Pool Deck	1,321
		Covered Patio	254
		Enclosed Room	400
		Enclosed Room	168
		All Screen - 1 Story	1,771
		Fireplace	2
		Pool - Residential	1



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PROPERTY DETAILS

Account 2105333
 Owners Burford, Kristopher M
 Mailing Address 1981 Brady Grove Rd Titusville FL 32796
 Site Address 1981 Brady Grove Rd Titusville FL 32796
 Parcel ID 21-35-21-51-2-2
 Property Use 0213 - Manufactured Housing - Double Wide
 Exemptions HEX1 - Homestead First
 HEX2 - Homestead Additional
 Taxing District 1300 - Unincorp District 1
 Total Acres 1.03
 Subdivision Brady Grove Park
 Site Code 0001 - No Other Code Appl.
 Plat Book/Page 0025/0043
 Land Description Brady Grove Park Lot 2 Exc N 2 Ft Blk 2



VALUE SUMMARY

Category	2019	2018	2017
Market Value	\$90,710	\$87,050	\$79,060
Agricultural Land Value	\$0	\$0	\$0
Assessed Value Non-School	\$80,160	\$78,670	\$77,060
Assessed Value School	\$80,160	\$78,670	\$77,060
Homestead Exemption	\$25,000	\$25,000	\$25,000
Additional Homestead	\$25,000	\$25,000	\$25,000
Other Exemptions	\$0	\$0	\$0
Taxable Value Non-School	\$30,160	\$28,670	\$27,060
Taxable Value School	\$55,160	\$53,670	\$52,060

SALES/TRANSFERS

Date	Price	Type	Parcel	Deed
12/29/2014	\$93,000	WD	Improved	7275/1811
03/22/2013	\$46,000	WD	Improved	6834/0146
01/17/2001	\$62,600	WD	Improved	4277/2153
01/17/2001	\$20,000	WD	Vacant	4277/2151
10/01/1998	\$50,000	PT	Improved	3918/2635
12/01/1994	--	PT	Improved	3445/2673
10/25/1984	--	WD	--	2551/2417
09/30/1983	\$27,000	WD	--	2459/1081
05/27/1981	\$30,200	WD	--	2303/1102

BUILDINGS

PROPERTY DATA CARD #1

Building Use: 0213 - Manufactured Housing - Double Wide

Materials	Details	
Exterior Wall:	Vinyl/Aluminum	Year Built 1995
Frame:	Wood Frame	Story Height 8
Roof:	Asph/Asb Shngl	Floors 1
Roof Structure:	Hip/Gable	Residential Units 1
		Commercial Units 0

Sub-Areas

Extra Features

Base Area (1st)	1,890	Outbuilding	192
Open Porch	144	Screen Enclosure	288
Total Base Area	1,890	Outbuilding	779
Total Sub Area	2,034	Skirting - Metal/Vinyl	194



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PROPERTY DETAILS

Account 2105334
 Owners Humple, Elizabeth; Hollifield, Margaret Peggy; Faulls, David; Faulls, Joan
 Mailing Address 5120 SW 13Th CT Plantation FL 33317
 Site Address 1975 Brady Grove Rd Titusville FL 32796
 Parcel ID 21-35-21-51-2-3
 Property Use 0212 - Manufactured Housing - Single Wide
 DIML - Disability - Military
 HEX1 - Homestead First
 HEX2 - Homestead Additional
 SNCO - Senior - County
 WDW - Widower's Exemption For Husband
 Exemptions
 Taxing District 1300 - Unincorp District 1
 Total Acres 1.05
 Subdivision Brady Grove Park
 Site Code 0001 - No Other Code Appl.
 Plat Book/Page 0025/0043
 Land Description Brady Grove Park Lot 3 Blk 2



VALUE SUMMARY

Category	2019	2018	2017
Market Value	\$58,240	\$57,080	\$57,560
Agricultural Land Value	\$0	\$0	\$0
Assessed Value Non-School	\$58,160	\$57,080	\$56,480
Assessed Value School	\$58,160	\$57,080	\$56,480
Homestead Exemption	\$25,000	\$25,000	\$25,000
Additional Homestead	\$8,160	\$7,080	\$6,480
Other Exemptions	\$25,000	\$5,500	\$5,500
Taxable Value Non-School	\$19,500	\$19,500	\$19,500
Taxable Value School	\$27,660	\$26,580	\$25,980

SALES/TRANSFERS

Date	Price	Type	Parcel	Deed
04/08/2019	--	WD	Improved	8412/1695
03/23/2019	--	DC	Improved	8412/1694
07/22/2005	--	WD	Improved	5504/3154
01/26/2005	\$100,000	WD	Improved	5415/2152
03/05/2001	\$55,000	WD	Improved	4303/3403
07/01/1996	--	QC	Improved	3591/3577
05/01/1996	--	CT	Improved	3566/3217
11/26/1984	\$35,000	WD	--	2557/2763
05/17/1979	\$8,000	WD	--	2052/0521

BUILDINGS

PROPERTY DATA CARD #1

Building Use: 0212 - Manufactured Housing - Single Wide

Materials	Details	
Exterior Wall:	Brd/Lap Siding	Year Built 1980
Frame:	Wood Frame	Story Height 8
Roof:	Asph/Asb Shngl	Floors 1
Roof Structure:	Hip/Gable	Residential Units 1

		Commercial Units	0
Sub-Areas		Extra Features	
Base Area (1st)	840	Screen Enclosure	220
Total Base Area	840	Garage Detached	488
Total Sub Area	840	Pole Barn	378
		Enclosed Room	960
		Pool Deck	1,339
		Skirting - Metal/Vinyl	195
		Outbuilding	368
		Screen Enclosure	25
		Wood Deck	30
		Wood Deck	470
		Pool - Residential	1



Brevard County Property Appraiser

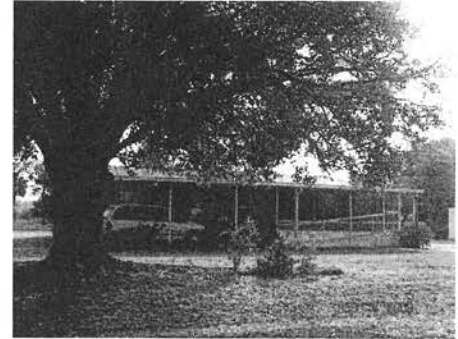
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PROPERTY DETAILS

Account 2105336
 Owners Rumsey, Frank E; Rumsey, Marian L
 Mailing Address 1951 Brady Grove Rd Titusville FL 32796
 Site Address 1951 Brady Grove Rd Titusville FL 32796
 Parcel ID 21-35-21-51-2-5
 Property Use 0213 - Manufactured Housing - Double Wide
 Exemptions TPQD - Total & Permanent - Quadriplegic
 Taxing District 1300 - Unincorp District 1
 Total Acres 1.10
 Subdivision Brady Grove Park
 Site Code 0001 - No Other Code Appl.
 Plat Book/Page 0025/0043
 Land Description Brady Grove Park Lot 5 Blk 2



VALUE SUMMARY

Category	2019	2018	2017
Market Value	\$53,560	\$52,180	\$47,690
Agricultural Land Value	\$0	\$0	\$0
Assessed Value Non-School	\$46,090	\$45,240	\$44,310
Assessed Value School	\$46,090	\$45,240	\$44,310
Homestead Exemption	\$0	\$0	\$0
Additional Homestead	\$0	\$0	\$0
Other Exemptions	\$46,090	\$45,240	\$44,310
Taxable Value Non-School	\$0	\$0	\$0
Taxable Value School	\$0	\$0	\$0

SALES/TRANSFERS

Date	Price	Type	Parcel	Deed
07/30/1991	\$37,000	WD	Improved	3135/1671
02/01/1979	\$7,400	--	--	2004/0134

BUILDINGS

PROPERTY DATA CARD #1

Building Use: 0213 - Manufactured Housing - Double Wide

Materials	Details
Exterior Wall: Plywd/T111	Year Built 1994
Frame: Wood Frame	Story Height 8
Roof: Asph/Asb Shngl	Floors 1
Roof Structure: Hip/Gable	Residential Units 1
	Commercial Units 0

Sub-Areas	Extra Features
Base Area (1st) 1,152	Covered Patio 528
Total Base Area 1,152	Skirting - Wood 144
Total Sub Area 1,152	Screen Enclosure 200
	Screen Enclosure 336
	Skirting - Metal/Vinyl 52



Brevard County Property Appraiser

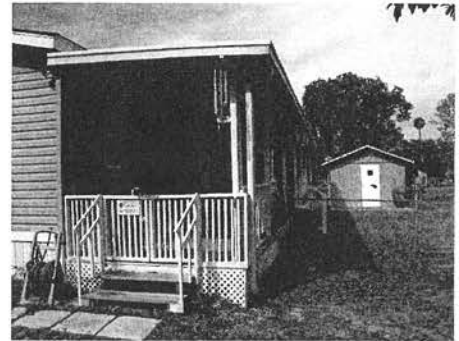
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PROPERTY DETAILS

Account 2105337
 Owners Leed, Paul L
 Mailing Address 1945 Brady Grove Rd Titusville FL 32796
 Site Address 1945 Brady Grove Rd Titusville FL 32796
 Parcel ID 21-35-21-51-2-6
 Property Use 0213 - Manufactured Housing - Double Wide
 Exemptions DICV - Disability - Civilian
 HEX1 - Homestead First
 HEX2 - Homestead Additional
 Taxing District 1300 - Unincorp District 1
 Total Acres 1.09
 Subdivision Brady Grove Park
 Site Code 0001 - No Other Code Appl.
 Plat Book/Page 0025/0043
 Land Description Brady Grove Park Lot 6 Blk 2



VALUE SUMMARY

Category	2019	2018	2017
Market Value	\$140,010	\$132,820	\$122,940
Agricultural Land Value	\$0	\$0	\$0
Assessed Value Non-School	\$114,710	\$112,580	\$110,270
Assessed Value School	\$114,710	\$112,580	\$110,270
Homestead Exemption	\$25,000	\$25,000	\$25,000
Additional Homestead	\$25,000	\$25,000	\$25,000
Other Exemptions	\$500	\$500	\$500
Taxable Value Non-School	\$64,210	\$62,080	\$59,770
Taxable Value School	\$89,210	\$87,080	\$84,770

SALES/TRANSFERS

Date	Price	Type	Parcel	Deed
03/19/2008	\$160,000	WD	Improved	5852/4016
12/01/1978	\$7,000	--	--	1981/0435

BUILDINGS

PROPERTY DATA CARD #1

Building Use: 0213 - Manufactured Housing - Double Wide

Materials	Details	
Exterior Wall:	Vinyl/Aluminum	Year Built 2005
Frame:	Wood Frame	Story Height 8
Roof:	Asph/Asb Shngl	Floors 1
Roof Structure:	Hip/Gable	Residential Units 1
		Commercial Units 0

Sub-Areas	Extra Features	
Base Area (1st)	1,920 Wood Deck	84
Total Base Area	1,920 Skirting - Metal/Vinyl	188
Total Sub Area	1,920 Skirting - Metal/Vinyl	64
	Outbuilding	144
	Screen Enclosure	260
	Garage Detached	1,370
	Garage Detached	727

Fireplace	1
Covered Patio	384