

LEGAL DESCRIPTION: SCHEDULE A

PARCEL I

COMMENCE AT THE NORTHWEST CORNER OF SECTION 32, TOWNSHIP 24 SOUTH, RANGE 36 EAST, AND RUN SOUTH 0°23'56" EAST ALONG THE WEST LINE OF SAID SECTION 32 A DISTANCE OF 774.60 FEET; THENCE RUN EAST A DISTANCE OF 40 FEET TO THE EAST RIGHT-OF-WAY OF CLEARLAKE ROAD AND THE POINT OF BEGINNING; THENCE FOR A FIRST COURSE CONTINUE EAST A DISTANCE OF 290.00 FEET; THENCE FOR A SECOND COURSE RUN SOUTH 0°23'56" EAST PARALLEL TO SAID CLEARLAKE ROAD A DISTANCE OF 157.39 FEET TO THE NORTH RIGHT-OF-WAY OF PEACHTREE STREET; THENCE FOR A THIRD COURSE RUN NORTH 89°48'30" WEST ALONG SAID RIGHT-OF-WAY A DISTANCE OF 290.00 FEET TO THE EAST RIGHT-OF-WAY OF CLEARLAKE ROAD; THENCE FOR A FOURTH AND FINAL COURSE RUN NORTH 0°23'56" WEST ALONG SAID RIGHT-OF-WAY A DISTANCE OF 156.36 FEET TO THE POINT OF BEGINNING. ALL BEING AND LYING IN THE NW 1/4 OF THE NW 1/4 OF SECTION 32, TOWNSHIP 24 SOUTH, RANGE 36 EAST, BREVARD COUNTY, FLORIDA.

PARCEL II

A PART OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 32, TOWNSHIP 24 SOUTH, RANGE 36 EAST, BREVARD COUNTY, FLORIDA,

DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF SAID SECTION 32; THENCE RUN SOUTH 0°13'7" WEST, ALONG THE WEST LINE OF SAID SECTION 32, A DISTANCE OF 536.95 FEET; THENCE RUN SOUTH 89°28'16" EAST A DISTANCE OF 270.08 FEET; THENCE RUN SOUTH 0°03'13" EAST, A DISTANCE OF 137.27 FEET; THENCE RUN SOUTH 89°28'16" EAST A DISTANCE OF 165.04 FEET TO THE POINT OF BEGINNING; THENCE FOR A FIRST COURSE RUN SOUTH 0°03'13" EAST, A DISTANCE OF 250.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF PEACHTREE STREET; THENCE FOR A SECOND COURSE RUN SOUTH 89°28'16" EAST ALONG THE SAID NORTH RIGHT-OF-WAY LINE A DISTANCE OF 100.00 FEET TO THE WEST RIGHT-OF-WAY LINE OF PINE PARK SUBDIVISION AS RECORDED IN PLAT BOOK 9, PAGE 17, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA; THENCE RUN NORTH 0°03'13" WEST ALONG SAID WEST LINE OF PINE PARK SUBDIVISION A DISTANCE OF 250.00 FEET; THENCE FOR A FOURTH AND FINAL COURSE RUN NORTH 89°28'16" WEST A DISTANCE OF 100.00 FEET TO THE POINT OF BEGINNING.

PARCEL III

A PART OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 32, TOWNSHIP 24 SOUTH, RANGE 36 EAST, BREVARD COUNTY, FLORIDA

DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF SAID SECTION 32; THENCE RUN SOUTH 0°13'07" WEST, ALONG THE WEST LINE OF SAID SECTION 32, A DISTANCE OF 536.95 FEET; THENCE RUN SOUTH 89°28'16" EAST A DISTANCE OF 270.08 FEET; THENCE RUN SOUTH 0°03'13" EAST A DISTANCE OF 137.27 FEET; THENCE RUN SOUTH 89°28'16" EAST A DISTANCE OF 65.04 FEET TO THE POINT OF BEGINNING; THENCE FOR A FIRST COURSE RUN SOUTH 0°03'13" EAST, A DISTANCE OF 250.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF PEACHTREE STREET; THENCE FOR A SECOND COURSE RUN SOUTH 89°28'16" EAST ALONG THE SAID NORTH RIGHT-OF-WAY LINE A DISTANCE OF 100.00 FEET; THENCE RUN NORTH 0°03'13" WEST A DISTANCE OF 250.00 FEET; THENCE FOR A FOURTH AND FINAL COURSE RUN NORTH 89°28'16" WEST A DISTANCE OF 100.00 FEET TO THE POINT OF BEGINNING.

ALL CONTAINING 95,354.76 SQUARE FEET
AND 2.189 ACRES +/-

SURVEYORS NOTES:

1. UNLESS OTHERWISE NOTED ONLY PLATTED EASEMENTS ARE SHOWN HEREON.
2. ALL LOT DIMENSIONS SHOWN ARE PER PLAT UNLESS OTHERWISE SHOWN.
3. NO UNDERGROUND UTILITIES OR IMPROVEMENTS WERE LOCATED UNLESS OTHERWISE SHOWN.
4. THIS SITE LIES WITHIN FLOOD INSURANCE RATE MAP ZONE X MAP# 1200900425 G DATED: 3-17-14.
5. FLOOD ZONE SHOWN HEREON IS AN INTERPRETATION BY THE SURVEYOR AND IS PROVIDED AS A COURTESY. THE FLOOD ZONE SHOULD BE VERIFIED BY A DETERMINATION AGENCY.
6. BEARINGS SHOWN HEREON ARE BASED ON THE WEST LINE OF SECTION 32 AS BEING S00°40'47"E ACCORDING TO THE PLAT DESCRIBED HEREON.
7. THE ACCURACY OF THIS SURVEY IS PREMISED ON THE EXPECTED USE OF THE SURVEY. THE EXPECTED USE/PURPOSE OF THIS SURVEY IS FOR ALTA/ACSM. ACCURACY=1 FOOT IN 7,500 FEET OR BETTER.
8. ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY ANYONE OTHER THAN THE SIGNING SURVEYOR IS PROHIBITED WITHOUT WRITTEN CONSENT.

ZONING AND SETBACKS

PROPERTY ZONING = BU-2/ RETAIL WHAREHOUSING & WHOLESALE COMMERCIAL

PROPERTY BUILDING SETBACKS

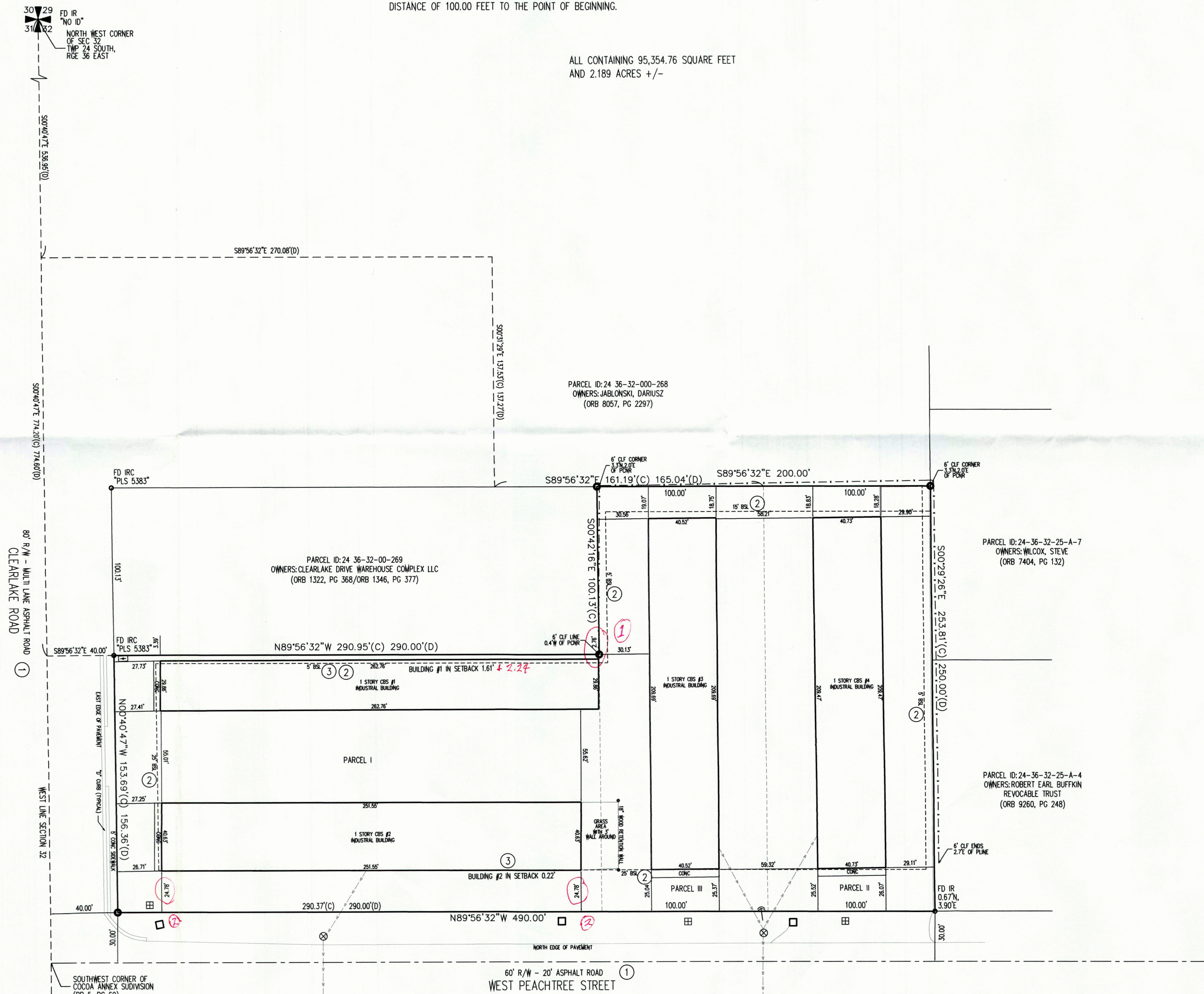
FRONT SETBACK = 25 FEET ②

SIDE SETBACK = 5 FEET ②

REAR SETBACK = 15 FEET ②

ABBREVIATIONS AND LEGEND

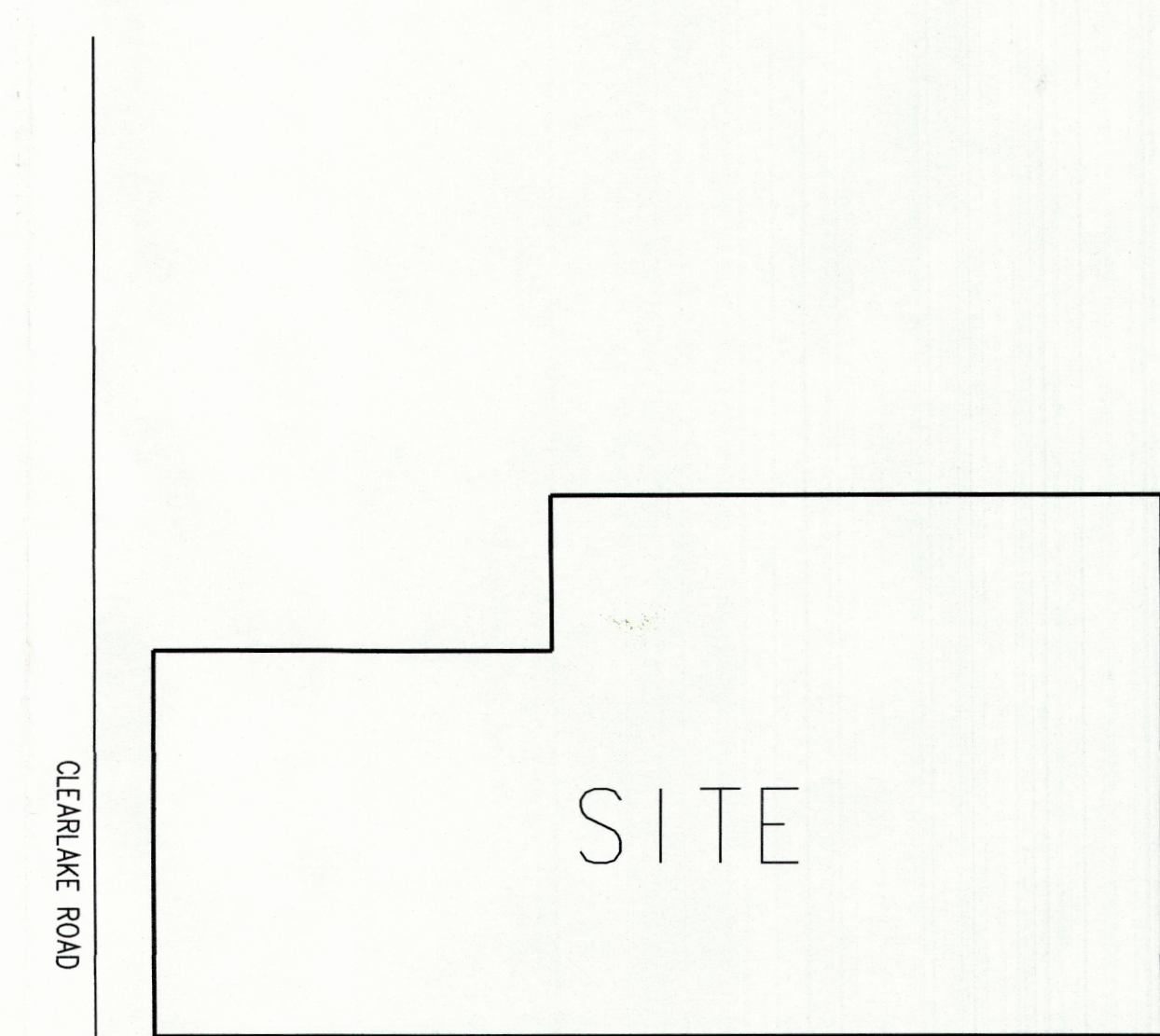
- △ = CALCULATED POSITION "PCP"
○ = FOUND 5/8 IRON REBAR & CAP
● = SET 5/8 IRON REBAR AND YELLOW CAP MARKED "PSM5543"
R/W = RIGHT OF WAY
PB = PLAT BOOK
PG = PAGE
ORB = OFFICIAL RECORD BOOK
R/W = RIGHT OF WAY
(M) = MEASURED
(P) = PLAT
(C) = CALCULATED
(R) = RADIUS OF CURVE
L = LENGTH OF CURVE
D = DELTA OF CURVE
BSL = BUILDING SETBACK LINE
PUE = PRIVATE UTILITY EASEMENT
FFE = FINISHED FLOOR ELEVATION
PCNR = PROPERTY CORNER
PLINE = PROPERTY LINE
POC = POINT OF COMMENCEMENT
POB = POINT OF BEGINNING
CONC = CONCRETE
CP = CONCRETE PAD
☐ = BACK FLOW PREVENTER
☐ = CATCH BASIN
☐ = CONCRETE POWER POLE
☐ = ELECTRIC BOX
☐ = FIRE HYDRANT
☐ = GUY WIRE
☐ = HANDICAP SPACE
☐ = MAIL BOXES
☐ = PARKING SPACES
☐ = SANITARY SEWER MANHOLE
☐ = SEWER VALVE
☐ = SIGN
☐ = WATER METER
☐ = WATER PUMP
☐ = WELL
☐ = WOOD POWER POLE



EASEMENTS

1. THERE ARE NO EASEMENTS LISTED IN THE PUBLIC RECORDS THAT EFFECT THIS PROPERTY ACCORDING TO THE TITLE COMMITMENT NUMBERED SL-22-825.

VICINITY MAP
NOT TO SCALE



NARRATIVE OF SCHEDULE B, SECTION II, EXCEPTIONS

1. THE PURPOSE OF THIS SURVEY IS TO PROVIDE AN "ALTA/ACSM LAND TITLE SURVEY" ON THE SUBJECT PROPERTY PER CUSTOMER REQUEST. ALTA COMMITMENT NUMBER _____ INSURING OFFICE FILE NUMBER SL-22-825 LIBERTY TITLE COMPANY OF AMERICA COMMITMENT DATE 10-10-22
2. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. ALL INFORMATION REGARDING RECORDED EASEMENTS, ADJOINERS AND OTHER DOCUMENTS THAT MIGHT AFFECT THE QUALITY OF TITLE TO TRACT SHOWN HEREON WAS GAINED FROM TITLE COMMITMENT PROVIDED.
3. THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED, TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THIS SURVEY.
4. THERE ARE NO EASEMENTS WITHIN THE BOUNDARY OF THE PARCEL.
5. THE RIGHT OF WAY FOR WEST PEACHTREE (FORMALLY KNOWN AS ORLANDO HIGHWAY) AND CLEAR LAKE ROAD HAVE BEEN DEDICATED TO THE PUBLIC IN THE PLAT OF COCOA ANNEX, PLAT BOOK 5, PAGE 69, RECORDED IN THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA. THEY HAVE BEEN NOTED ON SURVEY WITH MARKER ①
6. BUILDING SETBACKS ARE LISTED, PLOTTED AND NOTED ON SURVEY WITH MARKER ②
7. BUILDING #1 AND #2 ENCHROACHING BUILDING SETBACK LINES. NOTED ON SURVEY WITH MARKER ③

1520 WEST PEACHTREE STREET

SCALE: 1"=40'
DATE: 1-12-23
DRAWN: LW/JC
2023-0006
DATE: 1/18/23
REDEFINE GRASS AREA SHOW SETBACK ENCROACHMENTS

Atlantic Land Designs
of the Treasure Coast, L87468
754 NE Jensen Beach Blvd, Jensen Beach, FL 34957
Mailing Address:
P.O. Box 1421 Jensen Beach, FL 34958
ALD5543@gmail.com (772) 398-4290

REVISIONS
DATE: 1/18/23
REVISIONS

LAST FIELD DATE: 1-10-23

Certified to: JK Hibs LLC, a Florida Limited Liability Company
Liberty Title Company of America, Inc.
Old Republic National Title Insurance Company

I hereby certify that the survey shown hereon is true and correct and is based on actual measurements taken in the field.

James Lesiro
A133080A9FD4C1...

NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL