

GENERAL SITE PLAN NOTES:

1. ALL PAVEMENT IN PUBLIC RIGHT OF WAY SHALL MEET THE DETAILS AND REQUIREMENTS OF THE LOCAL AUTHORITY HAVING JURISDICTION.
2. ALL CURB CUTS AND DRIVEWAY APRONS SHALL MEET THE DETAILS AND REQUIREMENTS OF THE LOCAL AUTHORITY HAVING JURISDICTION.
3. ALL SIDEWALKS WITHIN PROPERTY BOUNDARY TO BE 4' THICK, 4000 PSI W/ 5x6-W2.9XW2.9 WWF, AND SHALL RECEIVE BROOM FINISH 90 DEG. TO THE DIRECTION OF TRAVEL.
4. ALL DRIVEWAYS WITHIN THE PROPERTY BOUNDARY TO BE 6" THICK, 4000 PSI W/ 5x6-W2.9XW2.9 WWF, AND SHALL RECEIVE BROOM FINISH 90 DEG. TO THE DIRECTION OF TRAVEL.
5. SLOPE ALL CONCRETE PAVING AWAY FROM BUILDING AT 1% MINIMUM.
6. SLOPE ALL CONCRETE WALKS AWAY FROM BUILDING AT 2% MAXIMUM.
7. SLOPE ALL FINAL GRADING AWAY FROM BUILDING TO ENSURE POSITIVE DRAINAGE.
8. MAXIMUM SLOPE FOR LANDSCAPED AREAS IS 25%.
9. LAY NEW SOD TO COVER ALL AREAS OF YARD DISTURBED BY CONSTRUCTION ACTIVITIES.
10. SLOPE ALL CONCRETE PAVING AWAY FROM BUILDING AT 1% MINIMUM.
11. SLOPE ALL CONCRETE WALKS AWAY FROM BUILDING AT 2% MINIMUM.
12. SLOPE ALL FINAL GRADING AWAY FROM BUILDING TO ENSURE POSITIVE DRAINAGE.
13. LAY NEW SOD TO COVER ALL AREAS OF YARD DISTURBED BY CONSTRUCTION ACTIVITIES, SOD MUST BE BAHIA, ZOYSIA, OR BERMUDA, EXCEPT FOR MONROE COUNTY WHERE ALL DISTURBED AREAS SHALL BE LIMESTONE.
14. SITE GRADING PLAN BASED ON AVAILABLE SURVEY DATA. EXISTING DRAINAGE PATTERNS TO BE CONFIRMED IN FIELD BY THE CONTRACTOR.
15. CONTRACTOR SHALL REGRADE SITE IMMEDIATELY ADJACENT TO THE NEWLY CONSTRUCTED HOUSE TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE FOUNDATION OF THE HOME.
16. THE CONTRACTOR SHALL NOT ALTER SITE DRAINAGE PATTERNS IN A WAY THAT DIRECTS ADDITIONAL FLOWS ONTO ADJACENT PROPERTIES.
17. UTILITY TIE-IN LOCATIONS ARE BASED ON LIMITED FIELD DATA. CONTRACTOR TO VERIFY SEWER AND WATER TIE-IN LOCATIONS IN FIELD AND NOTIFY ENGINEER OF ANY DISCREPANCY.

NEW IMPERVIOUS AREA:	
• NEW HOME WITH 2' ROOF OVERHANG:	1,665 SF
• EXISTING SHED:	86 SF
• NEW STAIRS:	45 SF
• <u>NEW CONCRETE:</u>	<u>420 SF</u>
• TOTAL:	2,216 SF

SITE PLAN LEGEND

FFE INFORMATION:

The diagram illustrates a road cross-section with a 4% slope on both sides of a central swale. The swale width is indicated as 6" ± 0". The road surface is labeled "GRADE" at the edges. The slope is labeled "1" and "4" (representing 1:4). The swale is labeled "SWALE" and "6" (representing 6 inches). The diagram shows a cross-section of a road with a central swale and sloped shoulders.

8) SIDEWALK EXPANSION JOINT (EJ)
1 1/2" = 1'-0"


② CONCRETE DRIVEWAY
1/4" = 1'-0"

③ CONCRETE SIDEWALK
1/4" = 1'-0"

④ DRIVEWAY CONTROL JOINT (CJ)
1 1/2" = 1'-0"

⑤ DRIVEWAY EXPANSION JOINT (EJ)
1 1/2" = 1'-0"

⑦ SIDEWALK CONTROL JOINT (CJ)
1 1/2" = 1'-0"



**REVIEWED FOR
CODE COMPLIANCE**
UNIVERSAL ENGINEERING SCIENCES

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REBUILD FLORIDA
1850 W Virginia Ave
Merritt Island, FL 32952

SITE PLAN & DETAILS

Project Number	2019-15
Date	04/28/2022
Location	SM
Project Type	IP
FOR CONSTRUCTION	



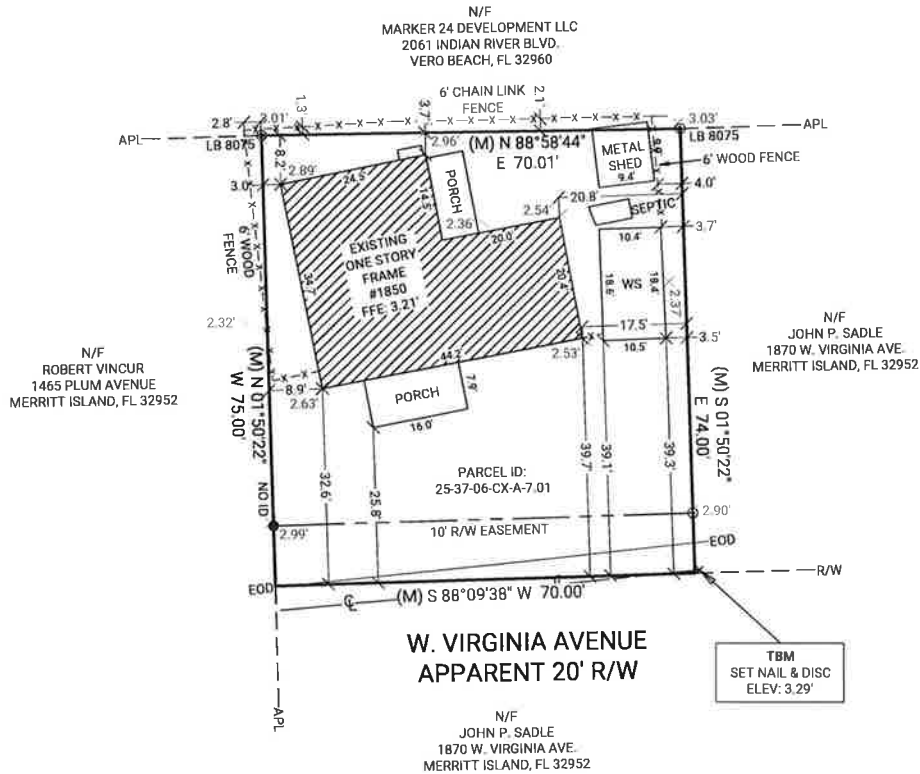
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ADDRESS: 1850 WEST VIRGINIA AVENUE, MERRITT ISLAND, FL 32952
BEING A 0.120 ACRE PARCEL OF LAND, MORE OR LESS, LOCATED IN SECTION 6, T25S-R37E,
BREVARD COUNTY, FLORIDA. ENTRY #844407.
AREA: 5,215 S.F. ~ 0.120 ACRES

20' 10' 0' 20'
GRAPHIC SCALE: 1" = 20'

TREE LEGEND



GENERAL NOTES

1. Bearings shown hereon are based Florida State Plane West Zone (0902) derived from static GPS observations recorded on 12/01/2021.
2. Elevations shown hereon are based on NAVD 88 GEOID-12A derived from static GPS observations recorded on 12/01/2021 (Conversion to NGVD 29= +1.17 ft).
3. This property lies within flood zone "AE-3" according to FEMA FIRM #: 12009C0435H, effective on 01/29/2021.
4. This plat has been calculated for closure and is found to be accurate within one foot in 10,000+ feet.

PT Point of Tangency
PI Point of Intersection
PC Point of Curvature
M Measured
P Platted
A/C Air Conditioning
CONC Concrete

TBM Temporary Benchmark
PP Power Pole
CR Community Riser
ID Identification
X Fence
TPED Telephone Pedestal
SS Stop Sign

LAN Lanai
S Stoop
CP Covered Patio
DE Drainage Easement
UE Utility Easement
PROP Proposed
FFE Finished Floor Elevation

TOF Top of Form
BL Building Line
R/W Right of Way
SF Square Feet
APL Approximate Property Line
EOP Edge of Pavement
-C- Center Line

○ Rebar to be set
● Set 1/2" Rebar (LB#8075)
● Found 1" Open Top Pipe
● Set Mag Nail
● Found Mag Nail
● Not To Scale
→ Drainage Flow

PARCEL ID: 25-37-06-CX-A-7.01

Section 6, Township 25 South,
Range 37 East,
Brevard County, Florida

BOUNDARY AND
TOPOGRAPHIC SURVEY FOR:

ROYAL ENGINEERS
& CONSULTANTS

FIELD WORK DATE: 12/01/2021
PLAT DATE: 12/06/2021

20211105323 ROYAL FC: CE



CARTER + CLARK
SURVEYORS • PLANNERS • ENGINEERS

237 Aucilla Road
Monticello, FL 32344
www.carterandclark.com
LICENSED BUSINESS # 8075

Carter & Clark Land Surveyors is unable to warrant the accuracy of boundary information, structures, easements, and buffers that are illustrated on the subdivision plat. This property may be subject to additional easements or restrictions of record. Adjoiners shown are per plat of record. The existence of utilities within utility easements have not been field verified by surveyor. Contact utility contractor for location prior to construction (if applicable). Dimensions from house to property lines should not be used to establish fences. This plat is for exclusive use by client. Use by third parties is at their own risk. The field data upon which this plat is based has a closure precision of one foot in 10,000+ feet and an angular error of 7 seconds per angle point and was adjusted using the compass rule. Equipment used: Leica Total Station- 12. Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without the written consent of the signing party or parties.



PROFESSIONAL
SURVEYOR & MAPPER IN
RESPONSIBLE CHARGE

CHRISTOPHER WAYNE
CLARK, FLORIDA
CERTIFICATE NO. LS 7135

Christopher Wayne
Clark

This item has been electronically signed and sealed by Christopher Clark, PSM on 12/06/2021 using a digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

I HEREBY CERTIFY THAT THE BOUNDARY SURVEY DEPICTED HEREON WAS CONDUCTED BY PERSONS UNDER MY DIRECT SUPERVISION AND MEETS OR EXCEEDS THE STANDARDS OF PRACTICE ESTABLISHED BY THE STATE OF FLORIDA AS OUTLINED IN SJ-17 FAC.

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