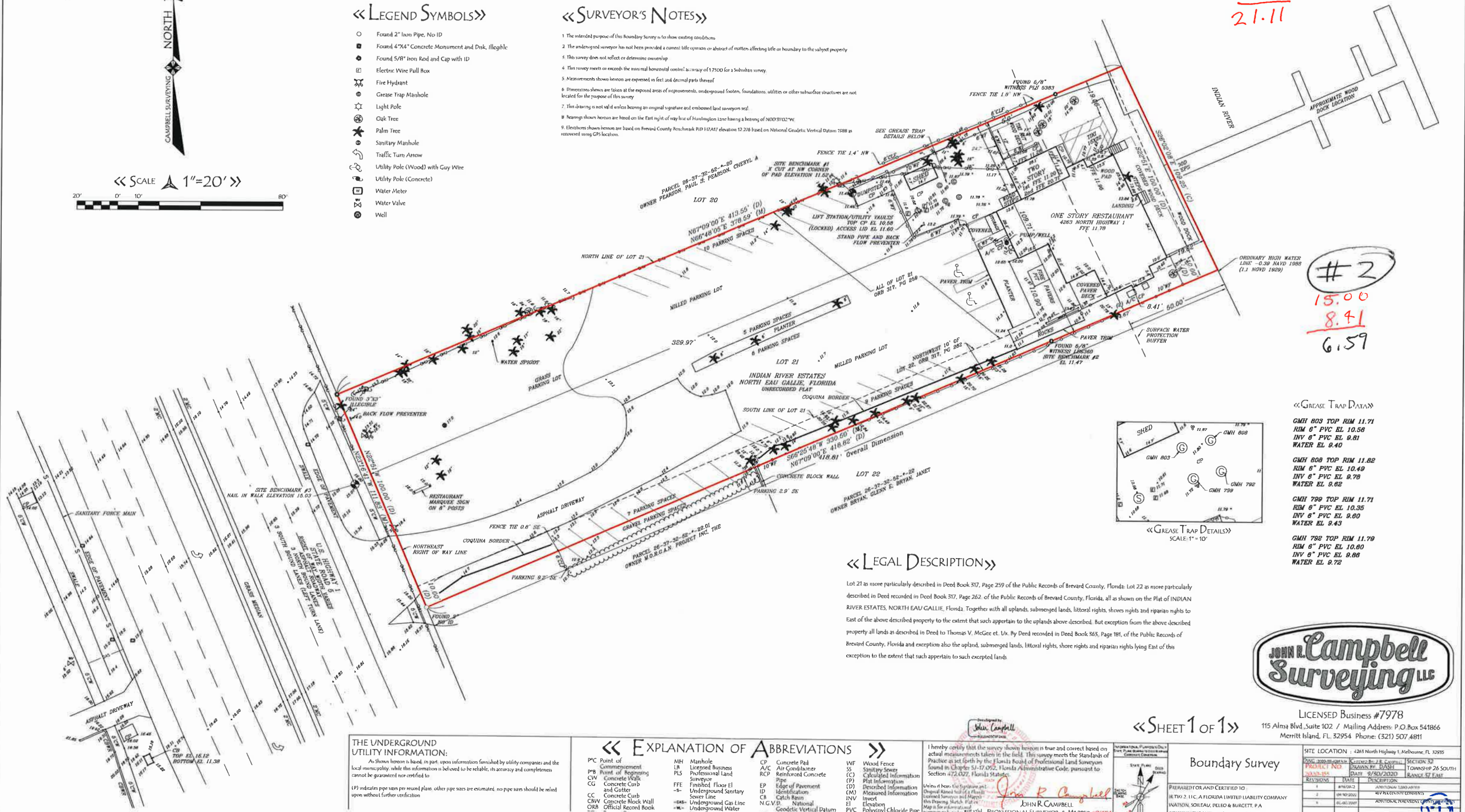


IN A PORTION OF SECTION 32,  
TOWNSHIP 26 SOUTH, RANGE 37 EAST, BREVARD COUNTY, FLORIDA

«SURVEYOR'S NOTES»

- 1 The intended purpose of this Boundary Survey is to show existing conditions
- 2 The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property
- 3 This survey does not reflect or determine ownership
- 4 This survey meets or exceeds the minimal horizontal control accuracy of 1/5000 for a Suburban survey.
- 5 Measurements shown hereon are expressed in feet and decimal parts thereof
- 6 Dimensions shown are taken at the exposed areas of improvements, underground footers, foundations, utilities or other subsurface structures are not located for the purpose of this survey
- 7 This drawing is not valid unless bearing an original signature and embossed land surveyors seal.
- 8 Bearings shown hereon are based on the East right of way line on Huntington Lane having a bearing of N00°31'02" W.
- 9 Elevation shown hereon are based on Freewald County Benchmark PLT H1747 elevation 12.276 based on National Geodetic Vertical Datum 1956 as recovered using GPS location.



«GREASE TRAP DATA»

GMH 803 TOP RIM 11.71  
RIM 6" PVC EL 10.58  
INV 6" PVC EL 9.81  
WATER EL 9.40

GMH 808 TOP RIM 11.82  
RIM 6" PVC EL 10.49  
INV 6" PVC EL 9.78  
WATER EL 9.62

GMH 799 TOP RIM 11.71  
RIM 6" PVC EL 10.35  
INV 6" PVC EL 9.60  
WATER EL 9.43

GMH 792 TOP RIM 11.79  
RIM 6" PVC EL 10.80  
INV 6" PVC EL 9.86  
WATER EL 9.72

## «LEGAL DESCRIPTION»

Lot 21 as more particularly described in Deed Book 317, Page 259 of the Public Records of Brevard County, Florida; Lot 22 as more particularly described in Deed recorded in Deed Book 317, Page 262 of the Public Records of Brevard County, Florida, all as shown on the Plat of INDIAN RIVER ESTATES, NORTH EAU GALIE, Florida; Together with all uplands, submerged lands, littoral rights, shores rights and riparian rights to East of the above described property to the extent that such appertain to the uplands above described. But exception from the above described property all lands as described in Deed to Thomas V. McGee et. Ux. By Deed recorded in Deed Book 363, Page 181, of the Public Records of Brevard County, Florida and exception also the upland, submerged lands, littoral rights, shore rights and riparian rights lying East of this exception to the extent that such appertain to such excepted lands.

## « EXPLANATION OF ABBREVIATIONS »

THE UNDERGROUND  
UTILITY INFORMATION:

As Shown hereon is based, in part, upon information furnished by utility companies and the local municipality, while this information is believed to be reliable, its accuracy and completeness cannot be guaranteed nor certified to.

(P) indicates pipe sizes per record plans. other pipe sizes are estimated. no pipe sizes should be relied upon without further verification.

PC	Point of Commencement	MH	Manhole	CP	Concrete Pad	WF	Wood Fence
PB	Point of Beginning	LB	Licensed Business	AC	Air Conditioner	SS	Sanitary Sewer
CW	Concrete Walk	PLS	Professional Land Surveyor	RCP	Reinforced Concrete Pipe	CS	Calculated Information
CG	Concrete Curb and Gutter	FFE	Finished Floor Elevation	EP	Edge of Pavement	PI	Plot Information
CC	Concrete Curb	-SF-	Underground Sanitary Sewer Line	ID	Identification	(D)	Described Information
CBW	Concrete Record Wall	-GAS-	Underground Gas Line	CR	Catch Basin	(M)	Measured Information
ORR	Official Record Book	-WU-	Underground Water	N.G.P.D.	National Geodetic Vertical Datum	INV	Invert Elevation
						PVC	Polyvinyl Chloride Pipe

I hereby certify that the survey shown hereon is true and correct based on actual measurements taken in the field. This survey meets the Standards of Practice as set forth by the Florida Board of Professional Land Surveyors found in Chapter SJ-17.052, Florida Administrative Code, pursuant to Section 472.027, Florida Statute.

Unless it bears the Signature and Original Raised Seal of a Licensed Licensed Surveyor and Mapper, this Drawing, Sketch, Plan or Map is for information only.

**JOHN R CAMPBELL**  
PROFESSIONAL SURVEYOR & MAPPER

«SHEET 1 OF 1»

## Boundary Survey

PREPARED FOR AND CERTIFIED TO  
WTKI 2, LLC, A FLORIDA LIMITED LIABILITY COMPANY  
WATSON, SOILEAU, DELEO & BURGETT, P.A.

LICENSED Business #7978

115 Alma Blvd., Suite 102 / Mailing Address: P.O. Box 541866  
Merritt Island, FL 32954 Phone: (321) 507-4811

SITE LOCATION : 4263 North Highway 1, Melbourne, FL 32935

PWG 2000-00-000000	CREATED BY: J. R. CAMPBELL	SECTION 32
PROJECT NO.	DRAWN BY: DASH	TOWNSHIP 26 SOUTH
DATE: 9/30/2020		RANGE 57 EAST

REVISIONS	DATE	DESCRIPTION
1	8/16/2022	ADDITIONAL COMMENTS
2	08/30/2022	REV PER COUNTY COMMENTS

1	01/01/2007	ADDITIONAL DIMENSIONS COUNTY
		11-1-11



- \* SIDEWALKS:
  - .. LANDINGS SHALL BE MINIMUM OF 5'X5' AND NOT EXCEED A 2% SLOPE IN ANY DIRECTION.
  - .. LANDINGS & DIVISIONS RELATIVE TO DOOR SWING SHALL BE PROVIDED PER FBG.
  - .. RAMPS SHALL EXCEED A 1:12 SLOPE FOR A MAXIMUM RISE OF 0.5'. HAND RAILS SHALL BE PROVIDED IF RISE EXCEEDS 0.5'.
  - .. RAMPS MAY NOT EXCEED A MAXIMUM RISE OF 30" WITH HAND RAILS.
  - .. RAMP SLOPES SHALL NOT EXCEED A 1:20 SLOPE WITHOUT PROVIDING HAND RAILS.
- \* HANDRAILS:
  - .. WHEN HAND RAILS ARE PROVIDED, HAND RAILS SHALL BE PER FBG.
  - .. MINIMUM CLEARANCE SHALL BE 32"
  - .. HEIGHT SHALL NOT BE LESS THAN 32" NOR MORE THAN 36".
- \* HANDICAP PARKING:
  - .. SLOPE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION. IF SLOPES EXCEED 2% ON EXISTING PAVED AREAS, THEY CAN NOT BE DESIGNATED AS A HANDICAP PARKING SPACE.



**GENERAL STATEMENT:** THIS PROJECT IS LOCATED WITHIN UNINCORPORATED BREVARD COUNTY (JURISDICTION). THE SITE HAS AN EXISTING RESTAURANT BLDG IN 1978 WITH AN EXISTING ASPHALT WITHOUT PARKING LOT. THE EXISTING PARKING LOT DRAIN DRAINS TO THE INDIAN RIVER WITHOUT TREATMENT. THE PROJECT PROPOSES TO SITE PLAN (1) TIKI HUT, SIDEWALKS AND A NEW PARKING LOT. THE NEW PARKING LOT WILL CONSIST OF BOTH CONCRETE & PERVIOUS CONCRETE. THE PERVIOUS CONCRETE WILL RETAIN 100% OF THE STORMWATER ONSITE FROM THE NEW PARKING LOT & NEW SIDEWALKS, PROVIDING TREATMENT & ATTENUATION.

**ENGINEER OF RECORD:** MONROE ENGINEERING, INC.  
P.O. BOX 121094  
WEST MELBOURNE, FLORIDA 32912  
MR. STEVEN W. MONROE, P.E.  
PHONE: 321-544-8177

TAX PARCEL IDENTIFICATION: 26-37-32-52-9-21

FLOOD\_ZONE: FLOOD\_ZONE X PER FIRE

PROJECT AREA:  $\pm 34.613$  SF =  $\pm 0.795$  AC

UNIFORMITY: DRY-STACK, CORNER

FUTURE LAND USE: NC NEIGHBORHOOD

**EXISTING USE:** RESTAURANT

BUILDING SETBACK EXISTING: NORTH 18'

**REPORTED BUILDING(S):** NO NEW STRU

**EXISTING BUILDING(S):** (1) (SINGLE STOR

**MAXIMUM FLOOR AREA RATIO (FAR):** 0.7

**PAYING:** \_\_\_\_\_

SITE USE	
EXIST. BUILDING	

NOTES:

3. ALL PROPOSED ELEVATIONS ARE EDGE OF PAVEMENT ELEVATIONS.
4. ALL SIDEWALKS, RAMPS AND CROSS WALKS WILL BE BUILT & INSPECTED TO MEET THE MOST CURRENT ADA GUIDELINES.
5. THIS SITE PLAN COMPLIES WITH BREWARD COUNTY'S PERFORMANCE STANDARD D2-2251 THROUGH D2-2272.
6. THE USES PROPOSED AS PART OF THIS SITE PLAN DO NOT REQUIRE A SUBMITTAL OF A RISK MANAGEMENT PLAN PURSUANT TO U.S. ENVIRONMENTAL PROTECTION AGENCY (EPA) REGULATIONS AND SHALL NOT EXCEED EPA'S RMR THRESHOLD QUANTITIES OF LISTED SUBSTANCES.
7. ALL POSTS AND HARDWARE OR ANY SIGNS INSTALLED ON THE SITE OR IN THE BREWARD COUNTY RIGHT OF WAY WILL ADHERE TO THE REQUIREMENTS SPELLED OUT IN BREWARD COUNTY LAND DEVELOPMENT EXHIBIT 26.

1. ALL CONSTRUCTION WITHIN THE FOOT RIGHT OF WAY SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FOOT BEST STANDARDS, FOOT BEST STANDARDS FOR ROAD, BRIDGE AND INFRASTRUCTURE AND SPECIAL ACCOMMODATIONS MANUAL.
2. ALL GRAVED AREAS WITHIN THE FOOT AREAS THAT HAVE BEEN DISTURBED BY CONSTRUCTION SHALL BE SOODED WITH COMMON BERMUDA.
3. PLACE SOD PER FOOT DESIGN STANDARD INDEX 103 WITH STAGGERED TRANSVERSE JOINTS (BRICK) PATTERN DETAIL AT DROP OFF BELOW THE EDGE OF PAVEMENT.
4. ALL EXCAVATION WITHIN (10) FEET OF THE TRAVEL LANES WITH A DROP OFF GREATER THAN 4 FEET SHALL BE PROTECTED WITH A 4' SHOCKER. A CURB TREATMENT PLACED PER FOOT DESIGN STANDARD INDEX 102-800-100. E.W.
5. FLOOD MUST BE CONTACTED 48 HOURS IN ADVANCE BEFORE WORK BEGINS.
6. ALL MATERIALS USED WITHIN THE FOOT RIGHT OF WAY MUST BE STATE CERTIFIED.

Basin InformationPost Condition Imperious Areas (Treatment Volume)

### Revised Answer:

Year	1990	1995	2000	2005	2010
Population (millions)	1.2	1.5	1.8	2.1	2.4
GDP (billions of dollars)	0.5	1.0	1.5	2.0	2.5
Life expectancy (years)	55	60	65	70	75

- 1 WHITE DIRECTION ARROW TOP  
PER FOOT INDEX 711-001, SHEET 1 OF 13
- 2 36" HIGH INTENSITY GRADE STOP SIGN RI-1
- 3 24" WIDE WHITE STOP BAR (MIN 4" CLEAR OF CROSSWALK)
- 4 6" SINGLE WHITE
- 5 6" DOUBLE YELLOW STRIPES (25' LONG FROM STOP BAR)
- 6 12" SINGLE WHITE STRIPE PER FOOT INDEX 711-001 SHEET 9 OF 13  
MINIMUM 6" CLEAR BETWEEN STRIPES  
MINIMUM 4" CLEAR TO STOP BAR

NOTE: ALL STRIPPING IN THE PUBLIC RIGHT OF WAY & PROPOSED DRIVEWAY

FOR REVIEW  
NOT FOR  
CONSTRUCTION

STEVEN W. MONROE, P.E. #61778

000000 31 0000

DATE: OCTOBER 31, 2022

THESE PLANS ARE NOT VALID WITHOUT  
THE ENGINEER OF RECORDS ORIGINAL SIGNATURE, DATE & S

17. NUMBER OF RECORDS, ORIGINAL AND/OR DUPLICATES, DATE & BY

SEAL

SOURCE: TITLE:

SITE PLAN

1-22	DRAWN BY: SM	CHECK BY: S
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11-22	DRAWN BY: SM	CHECK BY: SM


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CONTRACTUAL AGREEMENT WITH MORGAN INDEMNITY

BREVARD COUNTY PROJECT #

REVIEW #1)

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