

**BOARD OF COUNTY COMMISSIONERS**

**AGENDA REVIEW SHEET**

AGENDA: Donation of 1) Temporary Construction Easement from Abre Chase and Kimberley Chase, and 2) Drainage Easements from Suntree Master Homeowners Association, Inc. for the Oak Park Drainage Improvements Project – District 4

AGENCY: Public Works Department / Land Acquisition Office

AGENCY CONTACT: Lisa J. Kruse, Land Acquisition Specialist

CONTACT PHONE: 321-350-8353

	APPROVE	DISAPPROVE	DATE
LAND ACQUISITION Lucy Hamelers, Supervisor		_____	<u>5-29-24</u>
COUNTY ATTORNEY Greg Hughes Assistant County Attorney		_____	<u>6/4/2024</u>

Prepared by and return to: Lisa J. Kruse  
Public Works Department, Land Acquisition  
2725 Judge Fran Jamieson Way, A204, Viera, Florida 32940  
A portion of Interest in Tax Parcel ID: 26-36-24-NS-1-8

### **TEMPORARY CONSTRUCTION EASEMENT**

For and in consideration of the mutual benefits accruing to the parties, and for other good and valuable consideration, the receipt of which is hereby acknowledged, Abre B. Chase and Kimberley S. Chase, husband and wife, hereinafter called the Owner, whose address is 748 Oak Park Drive, Melbourne, Florida 32940, do(es) give, grant, bargain and release to Brevard County, a political subdivision of the State of Florida, hereinafter called the County, whose address is 2725 Judge Fran Jamieson Way, Viera, Florida 32940, a temporary construction easement for the purpose(s) of access to construct drainage improvements which will include installing new pipe, drainage inlets, installation and maintenance of wetland restoration plantings, and other allied uses pertaining thereto, over, under, upon, above, and through the following lands:

The land affected by the granting of the easement is located in Section 24, Township 26 South, Range 36 East, Brevard County, Florida, and being more particularly described as follows:

#### **SEE LEGAL DESCRIPTION ATTACHED HERETO AS "EXHIBIT A"**

With construction to be undertaken by or under direct supervision of the County. This easement shall be limited to said purposes, but shall include all rights necessary to accomplish the stated purposes, including, but not limited to the right of ingress and egress onto the easement area as may be necessary for the County to accomplish the work, the right to occupy, possess, and to control the property described herein for the stated purposes, the right to stage and to use equipment on said lands for the stated purposes, and the authority of the County to apply for and to secure any necessary permits or approvals to accomplish the stated purposes.

The Owner does hereby covenant with the County that it is lawfully seized and possessed of the lands above described and that it has a good and lawful right to convey it or any part thereof.

THIS EASEMENT is granted upon the condition that the property will be restored to a condition as nearly as possible to its original condition that existed prior to the use intended by this easement.

(Signatures and Notary on next page)

THIS EASEMENT shall expire 365 days after final acceptance of the project by Brevard County.

Signed, sealed, and delivered in the presence of:

Presley J  
Witness

Presley Jorge  
(Print Name)

Address: 2725 Judge Fran Jamieson Way  
Viera, FL 32940

Abre B. Chase  
Abre B. Chase

Kimberley S. Chase  
Kimberley S. Chase

Lisa J. Kruse  
Witness

Lisa J. Kruse  
(Print Name)

Address: 2725 Judge Fran Jamieson Way  
Viera, FL 32940

STATE OF FLORIDA  
COUNTY OF BREVARD

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization on this 23<sup>rd</sup> day of May, 2024, by Abre B. Chase and Kimberley S. Chase, husband and wife. Is  personally known or  produced Driver license as identification.

Notary Signature  
SEAL



# LEGAL DESCRIPTION

## PARCEL #800

PARENT PARCEL ID#: 26-36-24-NS-1-8  
PURPOSE: DRAINAGE EASEMENT

### EXHIBIT "A"

SHEET 1 OF 3

NOT VALID WITHOUT SHEETS 2 & 3

THIS IS NOT A SURVEY

### LEGAL DESCRIPTION: PARCEL #800 DRAINAGE EASEMENT(PREPARED BY SURVEYOR)

THE NORTHERLY 20.00' FEET OF LOT 8, BLOCK 1 OF THE PLAT OF OAK PARK AT SUNTREE, AS RECORDED IN PLAT BOOK 33, PAGES 20-22 OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, LYING IN SECTION 24, TOWNSHIP 26 SOUTH, RANGE 36 EAST, BREVARD COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHEAST CORNER OF SAID LOT 8; THENCE S 76°44'42" W, ALONG THE NORTH LINE OF SAID LOT 8, A DISTANCE OF 248.61 FEET TO THE NORTHWEST CORNER OF SAID LOT 8; THENCE S 30°54'14" E, ALONG THE WEST LINE OF SAID LOT 8, A DISTANCE OF 20.99 FEET; THENCE N 76°44'42" E, PARALLEL WITH AND 20.00 FEET SOUTH, BY RIGHT ANGLE MEASURE, OF SAID NORTH LINE, A DISTANCE 241.72 FEET TO THE EAST LINE OF SAID LOT 8 AND A POINT ON A 375.00 FOOT RADIUS CURVE CONCAVE TO THE SOUTHWEST AND HAVING A CHORD BEARING OF N 11°43'35" W; THENCE NORTHERLY, ALONG AN ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 3°03'26", AN ARC DISTANCE OF 20.01 FEET TO THE POINT-OF-BEGINNING.

CONTAINING 0.11 ACRES (4,905 SQUARE FEET), MORE OR LESS, AND BEING SUBJECT TO A 7.50 FOOT WIDE AND 10.00 FOOT WIDE DRAINAGE AND UTILITY EASEMENT PER PLAT BOOK 33, PAGE 20 OF THE BREVARD COUNTY PUBLIC RECORDS AND ANY OTHER EASEMENTS AND/OR RIGHTS-OF-WAYS OF RECORD.

#### NOTE:

- 1.) SEE SHEET 2 FOR SKETCH OF DESCRIPTION.
- 2.) SEE SHEET 3 FOR NOTES, LEGEND AND CERTIFICATION.

PREPARED FOR AND CERTIFIED TO:  
BREVARD COUNTY  
BOARD OF COUNTY COMMISSIONERS

PREPARED BY:



100 PARNELL STREET • SUITE A • MERRITT ISLAND, FLORIDA 32953

PHONE NO.: (321) 453-0010

DRMP, INC. CERTIFICATE NO.: 2648

DRAWN BY: JWS

CHECKED BY: JBC

PROJECT NO. 22-0623.000

SECTION 24

TOWNSHIP 26 SOUTH

RANGE 36 EAST

REVISIONS

DATE

DESCRIPTION

10/05/23

ADD TITLE INFO

DATE: 2023-09-11

DRAWING: 22-0623.000-SK02



# NOTES, LEGEND & CERTIFICATION

EXHIBIT "A"

## PARCEL #800

SHEET 3 OF 3

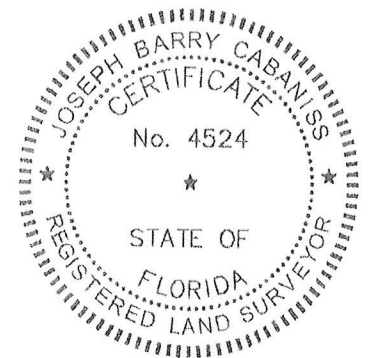
PARENT PARCEL ID#: 26-36-24-NS-1-8  
PURPOSE: DRAINAGE EASEMENT

NOT VALID WITHOUT SHEETS 1 & 2

THIS IS NOT A SURVEY

### SURVEYORS NOTES:

1. THIS IS NOT A BOUNDARY SURVEY.
2. BEARINGS SHOWN HEREON ARE BASED ON THE EAST RIGHT-OF-WAY LINE OF OAK PARK DRIVE OF THE PLAT OF OAK PARK AT SUNTREE AS RECORDED IN PLAT BOOK 33, PAGE 20 OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, BEING N 00°09'38" W. PLAT BEARINGS ROTATED TO STATE PLANE COORDINATE SYSTEM FOR FLORIDA EAST ZONE, NORTH AMERICAN DATUM OF 1983 AS ADJUSTED IN 2009 (NAD '83/'09)
3. INFORMATION SHOWN HEREON IS BASED ON A SURVEY BY DRMP, INC., PROJECT NUMBER 22--0623.000, DATED JULY 26, 2022.
4. PURSUANT TO O&E REPORT BY NEW REVELATIONS, INC., FILE NO. 23-1280 DATED 08/09/2023 THE FOLLOWING ITEMS WERE REVIEWED BY THE SURVEYOR:  
ITEM 5 - EASEMENT RECORDED IN ORB 2855, PAGE 2814 ENCUMBERS PARCEL 800. - SEE SKETCH
5. SEE SHEET 1 FOR LEGAL DESCRIPTION. SEE SHEET 2 FOR SKETCH OF DESCRIPTION.
6. THIS SKETCH AND DESCRIPTION WAS PREPARED FOR THE EXCLUSIVE USE OF THE PARTIES LISTED BELOW; COPIES ARE VALID ONLY WHEN BEARING THE SURVEYOR'S ORIGINAL SIGNATURE AND SEAL OR VERIFIED ELECTRONIC SIGNATURE AND SEAL.
7. CERTIFIED TO:  
**BREVARD COUNTY BOARD OF COUNTY COMMISSIONERS**



### LEGEND:

ORB	OFFICIAL RECORDS BOOK
PB	PLAT BOOK
PG	PAGE
PU	PUBLIC UTILITIES
PU & DE	PUBLIC UTILITIES AND DRAINAGE EASEMENT
R/W	RIGHT-OF-WAY
SF	SQUARE FEET
AC	ACRES
±	PLUS OR MINUS
⊙	CENTERLINE
(TYP)	TYPICAL
POB	POINT-OF-BEGINNING
(C1)	CURVE TABLE DESIGNATION

### CERTIFICATE:

I HEREBY CERTIFY THAT THE SKETCH AND DESCRIPTION SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AS PERFORMED UNDER MY DIRECTION AND SUPERVISION, AND THAT IT MEETS OR EXCEEDS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.05 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

*[Handwritten Signature]* 10/25/23  
 \_\_\_\_\_  
 JOSEPH BARRY CABANISS, P.L.S. DATE  
 FLORIDA SURVEYOR'S CERTIFICATE NO.: 4524  
 DRMP, INC. CERTIFICATE NO.: 2648  
 NOT VALID UNLESS SIGNED AND SEALED

PREPARED BY:  
 100 PARNELL STREET • SUITE A  
 MERRITT ISLAND, FLORIDA 32953  
 PHONE NO.: (321) 453-0010  
 DRMP, INC. CERTIFICATE NO.: 2648



SCALE: N/A  
 PROJECT NO.:  
 22--0623.000

SECTION 24  
 TOWNSHIP 26 SOUTH  
 RANGE 36 EAST

Prepared by and return to: Lisa J. Kruse  
Public Works Department, Land Acquisition  
2725 Judge Fran Jamieson Way, A204, Viera, Florida 32940  
A portion of Interest in Tax Parcel ID: 26-36-24-NS-46.A and 26-36-24-OZ-46

### **DRAINAGE EASEMENTS**

**THIS INDENTURE**, made this 24 day of January, 2024, between Suntree Master Homeowners Association, Inc., a Florida not for profit corporation, whose address is 7550 Spyglass Hill Road, Melbourne, Florida 32940, as the first party, and Brevard County, a political subdivision of the State of Florida, whose address is 2725 Judge Fran Jamieson Way, Viera, Florida 32940, as the second party, for the use and benefit of Brevard County, Florida.

**WITNESSETH** that the first party, in consideration of One Dollar (\$1.00) and other valuable consideration paid, the receipt of which is acknowledged, grants unto the second party, its successors and assigns, perpetual easements commencing on the above date for the purposes of constructing, reconstructing, reconfiguring, and maintaining drainage facilities and other allied uses pertaining thereto, over, under, upon, above, and through the following lands:

The land affected by the granting of the easement is located in Section 24, Township 26 South, Range 36 East, Brevard County, Florida, and being more particularly described as follows:

**SEE LEGAL DESCRIPTIONS ATTACHED HERETO AS "EXHIBIT A" AND EXHIBIT "B"**

Including the right of ingress and egress onto the easement areas as may be necessary for the full use and enjoyment by the second party of its easements. The first party shall have full use and enjoyment of the easement areas but shall not make any improvements within the easement areas which will conflict or interfere with the easements granted herein.

**TO HAVE AND TO HOLD** said easements unto Brevard County, a political subdivision of the State of Florida, and to its successors and/or assigns. The first party does covenant with the second party that it is lawfully seized and possessed of the lands above described and that it has a good and lawful right to convey it or any part thereof.

(Signatures and Notary on next page)

IN WITNESS WHEREOF, the first party has caused these easements to be executed, the day and year first above written.

Signed, sealed and delivered in the presence of:

[Signature]

Witness

Gina McKinney

Print Name

Address: 7550 Spiglass Hill Rd, Mel FL 32940

[Signature]

Witness

Jessical Agent

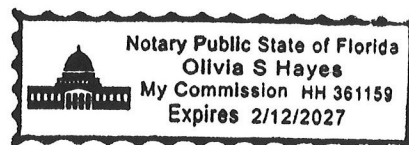
Print Name

Address: 7550 Spiglass Hill Rd Melbourne FL 32940

Suntree Master Homeowners Association, Inc., a Florida not for profit corporation

By: [Signature]  
Mark Martorano, President

(SEAL)



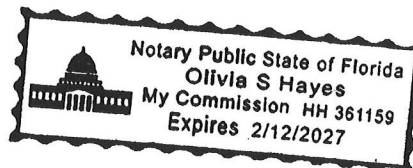
STATE OF FLORIDA  
COUNTY OF Brevard

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization on this 24 day of January 2024, by Mark Martorano, as President for Suntree Master Homeowners Association, Inc., a Florida not for profit corporation. Is  personally known or  produced \_\_\_\_\_ as identification.

[Signature]

Notary Signature

SEAL





# LEGAL DESCRIPTION

## PARCEL #801

PARENT PARCEL ID#: 26-36-24-0Z-46  
PURPOSE: DRAINAGE EASEMENT

# EXHIBIT "A"

SHEET 1 OF 3

NOT VALID WITHOUT SHEETS 2 & 3

THIS IS NOT A SURVEY

### LEGAL DESCRIPTION: PARCEL #801 DRAINAGE EASEMENT(PREPARED BY SURVEYOR)

A PORTION OF PARCEL 46 OF THE PLAT OF SUNTREE CHALLENGE GOLF COURSE, AS RECORDED IN PLAT BOOK 37, PAGES 60-64 OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, LYING IN SECTION 24, TOWNSHIP 26 SOUTH, RANGE 36 EAST, BREVARD COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHWEST CORNER OF LOT 8, BLOCK 1 OF THE PLAT OF OAK PARK AT SUNTREE, AS RECORDED IN PLAT BOOK 33, PAGES 20-22 OF SAID PUBLIC RECORDS; THENCE S 76°44'42" W, ALONG THE SOUTH LINE OF LOT 6 OF SAID PLAT, A DISTANCE OF 100.00 FEET; THENCE N 79°18'30" W, ALONG THE SOUTH LINE OF SAID LOT 6 AND LOT 5, A DISTANCE OF 184.29 FEET; THENCE S 25°32'57" E, A DISTANCE OF 24.80 FEET; THENCE S 79°18'30" E, PARALLEL WITH AND 20.00 FEET SOUTH, BY RIGHT ANGLE MEASURE, OF THE SOUTH LINE OF SAID LOT 5, A DISTANCE OF 173.88 FEET; THENCE N 76°44'42" E, A DISTANCE OF 110.60 FEET TO A POINT ON THE WEST LINE OF SAID LOT 8; THENCE N 30°54'14" W, ALONG SAID WEST LINE, A DISTANCE OF 20.99 FEET TO THE POINT-OF-BEGINNING.

CONTAINING 0.13 ACRES (5,688 SQUARE FEET), MORE OR LESS, AND BEING SUBJECT TO ANY OTHER EASEMENTS AND/OR RIGHTS-OF-WAYS OF RECORD.

#### NOTE:

- 1.) SEE SHEET 2 FOR SKETCH OF DESCRIPTION.
- 2.) SEE SHEET 3 FOR NOTES, LEGEND AND CERTIFICATION.

PREPARED FOR AND CERTIFIED TO:  
BREVARD COUNTY  
BOARD OF COUNTY COMMISSIONERS

PREPARED BY:



100 PARNELL STREET • SUITE A • MERRITT ISLAND, FLORIDA 32953  
PHONE NO.: (321) 453-0010  
DRMP, INC. CERTIFICATE NO.: 2648

DRAWN BY: JWS

CHECKED BY: JBC

PROJECT NO. 22-0623.000

SECTION 24

DATE: 2023-09-11

DRAWING: 22-0623.000-SK02

REVISIONS

DATE

DESCRIPTION

10/05/23

ADD TITLE INFO

TOWNSHIP 26 SOUTH  
RANGE 36 EAST

# SKETCH OF DESCRIPTION

## PARCEL #801

PARENT PARCEL ID#: 26-36-24-OZ-46  
 PURPOSE: DRAINAGE EASEMENT

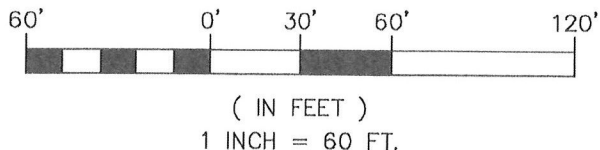
# EXHIBIT "A"

SHEET 2 OF 3

NOT VALID WITHOUT SHEETS 1 & 3

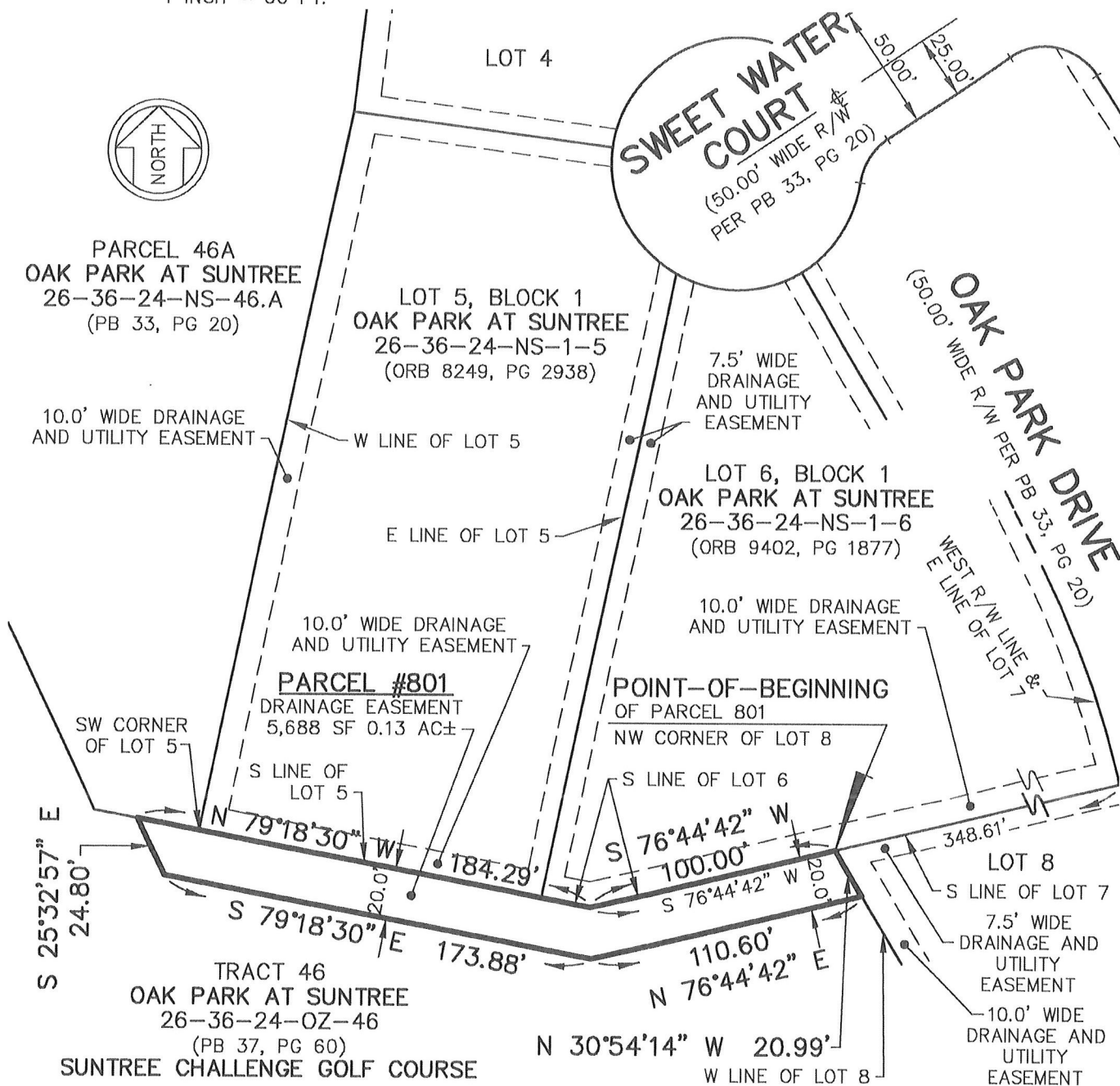
THIS IS NOT A SURVEY

### GRAPHIC SCALE



### NOTE:

- 1.) SEE SHEET 1 FOR LEGAL DESCRIPTION.
- 2.) SEE SHEET 3 FOR NOTES, LEGEND AND CERTIFICATION.



PREPARED BY:  
 100 PARNELL STREET • SUITE A  
 MERRITT ISLAND, FLORIDA 32953  
 PHONE NO.: (321) 453-0010  
 DRMP, INC. CERTIFICATE NO.: 2648



SCALE:  
 1" = 60'

PROJECT NO.:  
 22-0623.000

SECTION 24  
 TOWNSHIP 26 SOUTH  
 RANGE 36 EAST

# NOTES, LEGEND & CERTIFICATION

## PARCEL #801

PARENT PARCEL ID#: 26-36-24-0Z-46  
PURPOSE: DRAINAGE EASEMENT

## EXHIBIT "A"

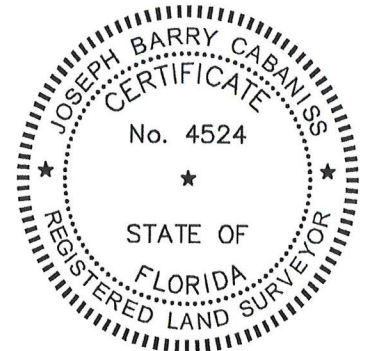
SHEET 3 OF 3

NOT VALID WITHOUT SHEETS 1 & 2

THIS IS NOT A SURVEY

### SURVEYORS NOTES:

1. THIS IS NOT A BOUNDARY SURVEY.
2. BEARINGS SHOWN HEREON ARE BASED ON THE EAST RIGHT-OF-WAY LINE OF OAK PARK DRIVE OF THE PLAT OF OAK PARK AT SUNTREE AS RECORDED IN PLAT BOOK 33, PAGE 20 OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, BEING N 00°09'38" W. PLAT BEARINGS ROTATED TO STATE PLANE COORDINATE SYSTEM FOR FLORIDA EAST ZONE, NORTH AMERICAN DATUM OF 1983 AS ADJUSTED IN 2009 (NAD '83/'09)
3. INFORMATION SHOWN HEREON IS BASED ON A SURVEY BY DRMP, INC., PROJECT NUMBER 22-0623.000, DATED JULY 26, 2022.
4. PURSUANT TO AN O&E REPORT BY NEW REVELATIONS, INC. FILE NO. 23-1237 DATED 6/28/2023 THE FOLLOWING ITEMS WERE REVIEWED BY THE SURVEYOR:  
ITEM 8 - EASEMENT RECORDED IN O.R. BOOK 3484, PG 2188, DOES NOT ENCUMBER PARCEL 801.
5. SEE SHEET 1 FOR LEGAL DESCRIPTION. SEE SHEET 2 FOR SKETCH OF DESCRIPTION.
6. THIS SKETCH AND DESCRIPTION WAS PREPARED FOR THE EXCLUSIVE USE OF THE PARTIES LISTED BELOW; COPIES ARE VALID ONLY WHEN BEARING THE SURVEYOR'S ORIGINAL SIGNATURE AND SEAL OR VERIFIED ELECTRONIC SIGNATURE AND SEAL.
7. CERTIFIED TO:  
**BREVARD COUNTY BOARD OF COUNTY COMMISSIONERS**



### LEGEND:

ORB	OFFICIAL RECORDS BOOK
PB	PLAT BOOK
PG	PAGE
PU	PUBLIC UTILITIES
PU & DE	PUBLIC UTILITIES AND DRAINAGE EASEMENT
R/W	RIGHT-OF-WAY
SF	SQUARE FEET
AC	ACRES
±	PLUS OR MINUS
⊕	CENTERLINE
(TYP)	TYPICAL
POB	POINT-OF-BEGINNING
(C1)	CURVE TABLE DESIGNATION

### CERTIFICATE:

I HEREBY CERTIFY THAT THE SKETCH AND DESCRIPTION SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AS PERFORMED UNDER MY DIRECTION AND SUPERVISION, AND THAT IT MEETS OR EXCEEDS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.05 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

*[Handwritten Signature]*

*10/25/23*

JOSEPH BARRY CABANISS, P.L.S.	DATE
FLORIDA SURVEYOR'S CERTIFICATE NO.:	4524
DRMP, INC. CERTIFICATE NO.:	2648
NOT VALID UNLESS SIGNED AND SEALED	

PREPARED BY:  
100 PARNELL STREET • SUITE A  
MERRITT ISLAND, FLORIDA 32953  
PHONE NO.: (321) 453-0010  
DRMP, INC. CERTIFICATE NO.: 2648



SCALE:	N/A
PROJECT NO.:	22-0623.000

SECTION 24  
TOWNSHIP 26 SOUTH  
RANGE 36 EAST

# LEGAL DESCRIPTION

## PARCEL #802

PARENT PARCEL ID#: 26-36-24-NS-46.A  
PURPOSE: DRAINAGE EASEMENT

# EXHIBIT "B"

SHEET 1 OF 3

NOT VALID WITHOUT SHEETS 2 & 3

THIS IS NOT A SURVEY

### LEGAL DESCRIPTION: PARCEL #802 DRAINAGE EASEMENT (PREPARED BY SURVEYOR)

A PORTION OF PARCEL 46A OF THE PLAT OF OAK PARK AT SUNTREE, AS RECORDED IN PLAT BOOK 33, PAGES 20-22 OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, LYING IN SECTION 24, TOWNSHIP 26 SOUTH, RANGE 36 EAST, BREVARD COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF LOT 5, BLOCK 1 OF SAID PLAT; THENCE N 25°32'57" W, A DISTANCE OF 121.32 FEET; THENCE S 64°27'03" W, A DISTANCE OF 20.00 FEET; THENCE S 25°32'57" E, A DISTANCE OF 106.66 FEET TO A POINT ON THE SOUTH LINE OF SAID PARCEL 46A; THENCE S 79°18'30" E, ALONG SAID SOUTH LINE, A DISTANCE OF 24.80 FEET TO THE POINT-OF-BEGINNING.

CONTAINING 0.05 ACRES (2,280 SQUARE FEET), MORE OR LESS, AND BEING SUBJECT TO ANY EASEMENTS AND/OR RIGHTS-OF-WAYS OF RECORD.

#### NOTE:

- 1.) SEE SHEET 2 FOR SKETCH OF DESCRIPTION.
- 2.) SEE SHEET 3 FOR NOTES, LEGEND AND CERTIFICATION.

PREPARED FOR AND CERTIFIED TO: <b>BREVARD COUNTY</b> <b>BOARD OF COUNTY COMMISSIONERS</b>
---

PREPARED BY:



100 PARNELL STREET • SUITE A • MERRITT ISLAND, FLORIDA 32953  
PHONE NO.: (321) 453-0010

DRMP, INC. CERTIFICATE NO.: 2648

DRAWN BY: JWS

CHECKED BY: JBC

PROJECT NO. 22-0623.000

SECTION 24  
TOWNSHIP 26 SOUTH  
RANGE 36 EAST

DATE: 2023-09-11

DRAWING: 22-0623.000-SK02

REVISIONS

DATE

DESCRIPTION

10/05/23

ADD TITLE INFO

# SKETCH OF DESCRIPTION

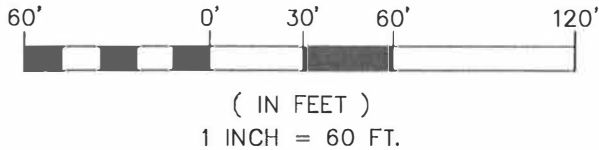
## PARCEL #802

PARENT PARCEL ID#: 26-36-24-NS-46.A  
 PURPOSE: DRAINAGE EASEMENT

# EXHIBIT "B"

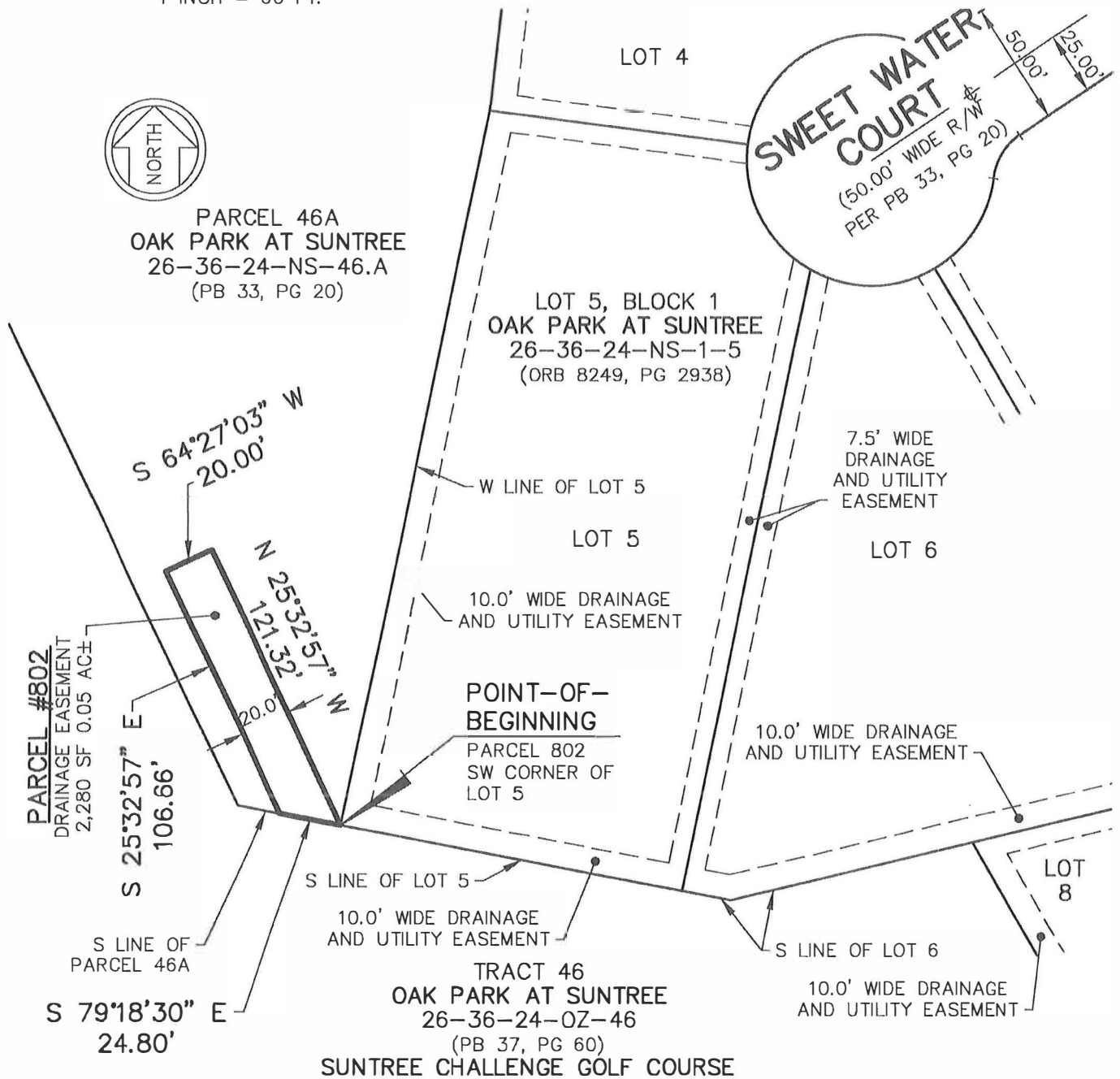
SHEET 2 OF 3  
 NOT VALID WITHOUT SHEETS 1 & 3  
THIS IS NOT A SURVEY.

### GRAPHIC SCALE



### NOTE:

- 1.) SEE SHEET 1 FOR LEGAL DESCRIPTION.
- 2.) SEE SHEET 3 FOR NOTES, LEGEND AND CERTIFICATION.



PREPARED BY:  
 100 PARNELL STREET • SUITE A  
 MERRITT ISLAND, FLORIDA 32953  
 PHONE NO.: (321) 453-0010  
 DRMP, INC. CERTIFICATE NO.: 2648



SCALE:  
 1" = 60'

PROJECT NO.:  
 22-0623.000

SECTION 24  
 TOWNSHIP 26 SOUTH  
 RANGE 36 EAST

# NOTES, LEGEND & CERTIFICATION

## PARCEL #802

PARENT PARCEL ID#: 26-36-24-NS-46.A  
PURPOSE: DRAINAGE EASEMENT

# EXHIBIT "B"

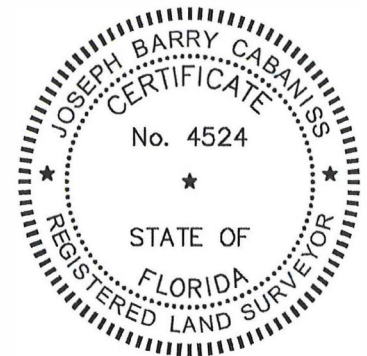
SHEET 3 OF 3

NOT VALID WITHOUT SHEETS 1 & 2

THIS IS NOT A SURVEY

### SURVEYORS NOTES:

1. THIS IS NOT A BOUNDARY SURVEY.
2. BEARINGS SHOWN HEREON ARE BASED ON THE EAST RIGHT-OF-WAY LINE OF OAK PARK DRIVE OF THE PLAT OF OAK PARK AT SUNTREE AS RECORDED IN PLAT BOOK 33, PAGE 20 OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, BEING N 00°09'38" W. PLAT BEARINGS ROTATED TO STATE PLANE COORDINATE SYSTEM FOR FLORIDA EAST ZONE, NORTH AMERICAN DATUM OF 1983 AS ADJUSTED IN 2009 (NAD '83/'09)
3. INFORMATION SHOWN HEREON IS BASED ON A SURVEY BY DRMP, INC., PROJECT NUMBER 22-0623.000, DATED JULY 26, 2022.
4. PURSUANT TO AN O&E REPORT BY NEW REVELATIONS, INC. FILE NO. 23-1233-A, DATED 6/20/2023 THE FOLLOWING ITEMS WERE REVIEWED BY THE SURVEYOR:  
ITEM 9 - EASEMENT RECORDED IN O.R. BOOK 2855, PAGE 2814 DOES NOT ENCUMBER PARCEL 802.  
ITEM 12 - DRAINAGE EASEMENT RECORDED IN PLAT BOOK 33, PAGE 20 - ENCUMBERS ALL OF PARCEL 802 AND IS BLANKET IN NATURE.
5. SEE SHEET 1 FOR LEGAL DESCRIPTION. SEE SHEET 2 FOR SKETCH OF DESCRIPTION.
6. THIS SKETCH AND DESCRIPTION WAS PREPARED FOR THE EXCLUSIVE USE OF THE PARTIES LISTED BELOW; COPIES ARE VALID ONLY WHEN BEARING THE SURVEYOR'S ORIGINAL SIGNATURE AND SEAL OR VERIFIED ELECTRONIC SIGNATURE AND SEAL.
7. CERTIFIED TO:  
**BREVARD COUNTY BOARD OF COUNTY COMMISSIONERS**



### LEGEND:

ORB	OFFICIAL RECORDS BOOK
PB	PLAT BOOK
PG	PAGE
PU	PUBLIC UTILITIES
PU & DE	PUBLIC UTILITIES AND DRAINAGE EASEMENT
R/W	RIGHT-OF-WAY
SF	SQUARE FEET
AC	ACRES
±	PLUS OR MINUS
⊙	CENTERLINE
(TYP)	TYPICAL
POB	POINT-OF-BEGINNING
Ⓢ	CURVE TABLE DESIGNATION

### CERTIFICATE:

I HEREBY CERTIFY THAT THE SKETCH AND DESCRIPTION SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AS PERFORMED UNDER MY DIRECTION AND SUPERVISION, AND THAT IT MEETS OR EXCEEDS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.05 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

*[Handwritten Signature]*  
 JOSEPH BARRY CABANISS, P.L.S.  
 FLORIDA SURVEYOR'S CERTIFICATE NO.:  
 DRMP, INC. CERTIFICATE NO.:  
 NOT VALID UNLESS SIGNED AND SEALED

*10/25/23*

DATE	4524
	2648

PREPARED BY:  
 100 PARNELL STREET • SUITE A  
 MERRITT ISLAND, FLORIDA 32953  
 PHONE NO.: (321) 453-0010  
 DRMP, INC. CERTIFICATE NO.: 2648



SCALE:	N/A
PROJECT NO.:	22-0623.000

SECTION 24  
 TOWNSHIP 26 SOUTH  
 RANGE 36 EAST

# LOCATION MAP

## Section 24, Township 26 South, Range 36 East - District 4

PROPERTY LOCATION: South of Saint Andrews Boulevard, and west of Oak Park Drive in Suntree.

OWNERS NAME(S): Abre and Kimberley Chase as to Parcel 1, and Suntree Master Homeowners Association, Inc. as to Parcels 2 and 3

