

Landscape Architectural Construction Documents for:

City Pointe

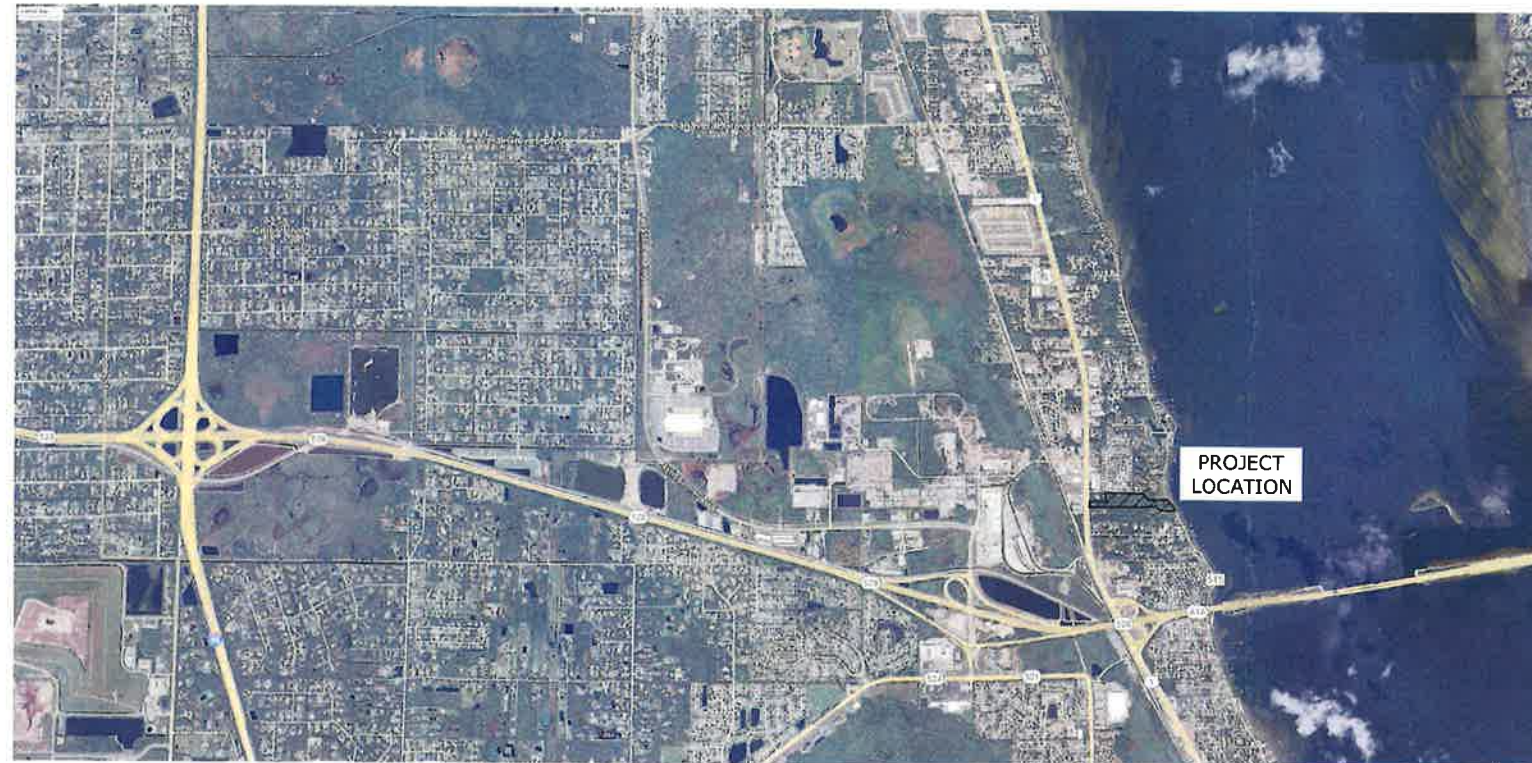
A PUD Community
Brevard County, Florida

Landscape Architect:
Libra Design Group, Inc.
P.O. Box 547368
Orlando, FL 32854-7368
Tel (407) 649-1828
Fax (407) 428-9526
Contact: Jason Davis

Civil Engineer:
MBV Engineering, Inc.
Vero Beach | Melbourne | Ft. Pierce
Contact: David Bassford, P.E.

INDEX OF SHEETS

SHEET #	TITLE
GN-01	GENERAL NOTES, ABBREVIATIONS & SYMBOL LEGEND
L400 - L405	TREE REMOVAL AND PRESERVATION
L500 - L504	LANDSCAPE PLANS
L601 - L602	LANDSCAPE DETAILS & SCHEDULE



VICINITY MAP



P.O. Box 547368, Orlando, FL 32854-7368
Landscape Architecture & Planning
www.libradesigngroup.com

© 2024 Libra Design Group - All Rights Reserved.
This document is the property of Libra Design Group, Inc. and is
presented as an instrument of service. Modification, reproduction,
copying or other use without the written consent of Libra Design
Group, Inc. is hereby expressly prohibited.

Florida License LC26000253

OWNER

Lake Mary, Florida

ISSUED

DATE FOR
2024.04.30 COUNTY PUD

City Pointe
Cocoa, Florida

KEY PLAN

JOB NO.: 24101

DESIGNED BY:

DRAWN BY:

CHECKED BY:

PROJECT APPROVAL:

TITLE
LANDSCAPE
COVER
SHEET

SHEET NO.

COVER

108

GENERAL DEMOLITION NOTES

Prior to commencement of demolition the contractor will coordinate his activities with all the utility companies serving this area. Copies of all dig permits shall be made available to the owner's representative prior to excavating. Contractor to coordinate fully with the utility companies on the exact location of underground utilities prior to excavation.

The contractor, prior to beginning any underground excavation, digging, boring, pile driving, blasting, or planting, must first obtain an excavation permit and the contractor shall comply with Tennessee Statutes regarding notification of existing gas and oil pipeline company owners and shall notify per the notification information listed on the civil engineer's drawings prior to excavation. Evidence of such notice shall be furnished to the owner prior to excavating. The contractor shall coordinate fully with the owner's representative for all excavation permits and notification necessary prior to initiating all work. See project manual and specifications for further information.

Utility lines shall be demolished and removed or left in place as required by the applicable utility company and local requirements. Any conduits that are left in place shall have ends securely capped.

The location of all existing utilities and storm drainage shown on the plans is approximate and reflects the best available information and is given for the convenience of the contractor. The owner or engineer assumes no responsibility for accuracy. Prior to the start of demolition the contractor shall visit the site and determine the location and the existence of all structures and utilities shown or not on the plans, which would need to be removed or abandoned.

The contractor shall verify all dimensions, elevations and utilities. Any discrepancies shall be brought to the immediate attention of the owner's representative.

Temporary construction fence(s) shall be staked for location before construction. A walk-through by the contractor and owner's representative/engineer shall be conducted to confirm the location.

All gates used on temporary construction fencing shall be locked with standard locks and keys provided by the contractor to the owner's representative.

Utility construction may be required in areas outside of the construction fence or work limit line. The contractor shall schedule this work with the owner's before beginning. Open cut, repair and restoration shall be completed in a timely manner.

The contractor shall remove all base and pavement materials and other construction debris from landscape areas and islands and grade these areas in preparation for landscape work.

All excess materials resulting from excavation for construction of the project shall be disposed of by the contractor off-site.

All practical and necessary efforts shall be taken during construction by the contractor to control and prevent erosion and transport of sediment to surface drains.

The contractor shall control fugitive dust originating on the project by watering or other methods as required.

GENERAL SITE FURNISHINGS NOTES

The contractor shall provide the following submittals:

All manufacturer's data including directions or recommendations for installation, methods, procedures and maintenance.

Complete shop drawings for all site furnishings indicating all details of fabrication and installation including sizes, shapes, finishes, colors, thickness, material quality and all other related work applicable to the site furnishings.

Submit color samples for approval.

Deliver all materials with manufacturer's tags and labels intact in clean, dry and protected locations.

Store and handle all site furnishings so as to avoid damage.

All site furnishings shall be provided by the contractor including ordering, shipping, delivery, unpacking, and installing according to manufacturer's specifications and as detailed on the drawings. The contractor shall verify installation procedure with the owner's representative prior to installing.

The contractor shall coordinate with the owner's representative the delivery of all site furnishings and shall be completely responsible for shipping, unpacking, removing packaging, disregarding pallet and packaging materials, and all handling after delivery to place site furnishings in locations designated on the plans.

All site furnishings locations are to be approved by owner's representative prior to being placed on site.

All site furnishings shall be guaranteed by the contractor free of defects, cracks, chips, stains and shall be completely clean and free of damages upon final placement and approval.

ABBREVIATIONS

+/-	PLUS OR MINUS	MAX	MAXIMUM
ACSY	ACCESSORY/ACCESSORIES	MFR	MANUFACTURER
AD	AREA DRAIN (IN SOD)	MIN	MINIMUM
AD2	AREA DRAIN (IN PLANTING BED)	MISC	MISCELLANEOUS
APPX	APPROXIMATE(LY)	N	NORTH
AR	ACCESSIBLE ROUTE	NIC	NOT IN CONTRACT
BCI	BOTTOM OF CURB	NOM	NOMINAL
BFP	BACKFLOW PREVENTER	NTS	NOT TO SCALE
BLDG	BUILDING	NVL	NATURAL VEGETATION LINE
BLKG	BLOCKING	OC	ON CENTER
BOC	BACK OF CURB	OH	OPPOSITE HAND
BOT	BOTTOM	OH	OVERHANG
BR	BOTTOM OF RAMP (ELEVATION)	PA	PLANTED AREA
BS	BOTTOM STEP (ELEVATION)	PC	POOL COPING
BW	BOTTOM OF WALL	PC	POINT OF CURVATURE
C/C	CENTER TO CENTER	PCC	POINT OF COMPOUND CURVATURE
C/L	CENTERLINE	PIP	POURED-IN-PLACE (CONCRETE)
CIP	CAST-IN-PLACE (CONCRETE)	PRC	POINT OF REVERSE CURVATURE
CMU	CONCRETE MASONRY UNIT	PT	POINT OF TANGENCY
CO	CLEAR OPENING	PT	PRESSURE TREATED
CO	CLEANOUT	QTY	QUANTITY
CONT	CONTINUOUS	R	RADIUS
CRS	COURSE	R	RISER(S)
DD	DECK DRAIN	REINF	REINFORCING
DESC	DESCRIPTION	RO	ROUGH OPENING
DI	DRAIN INLET (ELEVATION)	ROW	RIGHT OF WAY
DIA	DIAMETER	SD	STRIP DRAIN
DS	DOWNSPOUT	SIM	SIMILAR
E	EAST	SOG	SLAB ON GRADE
EG	EXISTING GRADE (ELEVATION)	SPECS	SPECIFICATIONS
ELEC	ELECTRIC	SQ, SQR	SQUARE
ELEV	ELEVATION	STD	STANDARD
EQPM	EQUIPMENT	STL	STEEL
EOP	EDGE OF PAVEMENT	STR	STRAIGHT
E/W	EACH WAY	SYP	SOUTHERN YELLOW PINE
EK	EXISTING	TAN	TANGENT LENGTH OF CURVE
F/F	FACE TO FACE	TBD	TO BE DETERMINED
FIN	FINISH(ED)	TC	TOP OF CURB (ELEVATION)
FNE	FINISHED FLOOR ELEVATION	TEMP	TEMPORARY
FG	FINISHED GRADE (ELEVATION)	THK	THICK
FOB	FACE OF BLOCK	TOB	TOP OF BLOCK (CMU)
FOC	FACE OF COLUMN	TOC	TOP OF CONCRETE
FOC	FACE OF CONCRETE	TOF	TOP OF FOOTING
FRMG	FRAMING	TR	TOP OF RAMP (ELEVATION)
FS	FINISHED SURFACE (ELEVATION)	TS	TOP STEP (ELEVATION)
GEN	GENERAL	TW	TOP OF WALL (ELEVATION)
GC	GENERAL CONTRACTOR	TYP	TYPICAL
HB	HOSE BIB	UD	UNDERDRAIN
HC	HANDICAP	UNO	UNLESS NOTED OTHERWISE
HORT	HORIZONTAL	VERT	VERTICAL
HP	HIGH POINT (ELEVATION)	W/	WITH
INV	INVERT (ELEVATION)	W/O	WITHOUT
JST	JOIST	WF	WATER FEATURE
LA	LANDSCAPE ARCHITECT	WW	WALKWAY
LC	LANDSCAPE CONTRACTOR	WWF	WELDED WIRE REINFORCING
LF	LINEAR FEET		
LNDG	LANDING		
LVL	LEVEL		

GENERAL SITE LAYOUT NOTES

Contractor shall fully familiarize himself/herself with the project prior to bidding the work.

See site layout drawings for construction layout geometry of the project's site development elements. Refer to hardscape plans and details as well as the structural documents for additional layout information.

Contractor shall coordinate and verify all points of beginning and benchmarks for the site with the owner's representative prior to initiating layout of site elements. Any discrepancies shall be immediately brought to the attention of the owner's representative and the Landscape Architect.

Unless noted otherwise, the limits of construction shall be as noted on the drawings.

Contractor shall utilize the geometry indicated on the site layout plans to layout all site elements, pavement and pavement patterns, etc. Bring any discrepancies, inconsistencies or errors to the attention of the owner's representative and Landscape Architect prior to construction.

Wherever possible, the contractor shall coordinate the layout of the pavement and pavement pattern with the location of the drain inlets and other at grade utility elements.

GENERAL SITE HARDSCAPE NOTES

The contractor shall familiarize himself/herself with the project site prior to bidding the work. The contractor shall field verify all existing conditions and location of proposed improvements prior to initiating any construction.

Refer to the site layout drawings for layout geometry information for all site elements.

The contractor shall notify all necessary utility companies at least 48 hours prior to digging for field verification of all underground utilities, irrigation and other elements and coordinate with the owner's representative prior to initiating operations. Drawings are prepared according to the best information available at the time of preparing these documents.

All existing site roads, parking lots, curbs, utilities, sewers and other elements to remain shall be fully protected from any damage unless otherwise noted. Report any discrepancies between the construction drawings and field conditions to the owner's representative immediately.

The contractor shall coordinate all work with related contractors and with the general construction of the project in order not to impede the progress of the work of others or the contractor's own work.

The contractor shall provide all necessary safety measures during construction operations to protect the public according to all applicable codes and recognized local practices.

The contractor shall coordinate access and staging areas with the owner's representative.

All pavement joints are to be parallel, perpendicular or tangent to adjacent lines unless noted otherwise. Layout curvilinear joints as indicated on the drawings for approval by the owner's representative prior to construction.

All pavement shall be staked in the field using dimensions and layout geometry indicated on the site layout plans or as instructed and approved by the owner's representative prior to construction. Alignment may be adjusted to accommodate existing drain inlets, manholes, or other site elements.

The contractor shall provide sample pours of all paving for approval by the owner's representative prior to construction in conformance with the specifications.

The contractor shall submit samples of all joint sealants and colors for approval by the owner's representative prior to installation.

The contractor shall maintain all existing erosion and sedimentation control measures (all fence, orange geo fence and/or other measures) during construction. Provide additional measures as necessary to minimize adverse impacts to the lake, guest areas, existing parking lots, etc.) according to all applicable federal/state law and local codes.

See hardscape details for concrete expansion joints and control joints. Control and expansion joint module width may vary to achieve the layout depicted on the plans. The contractor shall field measure and identify modular widths that achieve the intent of the layout shown on the plan. Contractor shall submit to the owner's representative a refined plan showing any required changes in joint layout prior to placement. Expansion joints shall be provided as shown on the plans and at all interfaces.

See site grading plans and civil engineering drawings for pavement elevations. Match grades with existing conditions. Verify that the pavement surfaces between existing and new are flush and do not create a tripping hazard.

The contractor shall clean the work areas at the end of each working day. Rubbish and debris shall be collected and disposed off-site daily. All materials, products and equipment shall be stored in an organized fashion as directed by the owner's representative.

The contractor shall be responsible for coordinating the location of all drain inlets, catch basins, yard drains and manholes indicated on the plans under previous construction packages. Where possible, drain inlets in pavement shall be located at the intersection of pavement joints or in the center of a pavement field defined by the pavement joint pattern indicated on the drawings.

All pedestrian walkways shall be five feet wide unless noted otherwise.

All reduced returns at pedestrian walkways shall be 2' (24") unless noted otherwise.

GENERAL GRADING NOTES

The contractor shall familiarize himself/herself with the project prior to bidding the work.

All landscape islands on parking areas shall be crowned 6" above the top of the curb unless noted otherwise on the plan(s).

Numerous underground utilities, conduit, sleeves, drainage pipes, etc., have been previously installed or scheduled for future installation by others. Contractor shall coordinate and work closely with other contractors, trades, and the owner's representative to avoid damage to these underground and at grade elements. Any damages shall be reported immediately to the owner's representative.

Finished grade in planting bed areas shall be 2" to 3" below the finished elevations shown for all hardscape surfaces (see details for varying conditions).

All utilities, sleeves, manholes, outfall structures, swales, and other structures or topographical features shall be field staked and verified prior to construction. Notify the owner's representative of any existing utility which needs to be raised to match finished grades shown in the drawings.

All required fill shall be clean, well draining soil. Fill shall be clean and free of all material harmful to plant growth and deleterious material such as rocks (larger than 2" dia.), compacted clay, roadbed or surfacing material, muck, roots, branches, etc.

Contours for berming shall be smooth, continuous arcs. Side slopes shall be smooth and even in transition and void of depressions and surface irregularities. All berms shall have a maximum side slope of four feet (4') horizontal to one foot (1') vertical (ie, 4 to 1), unless otherwise noted.

Maximum sidewalk slope shall be 8% (12' to 1') and meet all accessibility requirements. Minimum sidewalk slope shall be 1%. Maximum sidewalk cross slope shall be 2% pitched toward drainage structures.

All pavement and landscape areas of the project shall positively drain to drainage structures indicated on the site grading and civil engineering plans.

The contractor shall be responsible for all erosion protection and slope stabilization by owner-approved means.

Contractor shall furnish and install all necessary fences, barricades, and sediment control devices as well as maintain and repair any damage which may impede their effectiveness and as directed by the owner's representative.

Any limits of work abutting jurisdictional boundaries or existing water bodies shall be verified in the field and approved by the owner's representative.

SYMBOL LEGEND

	DETAIL REFERENCE
	ACCESSIBLE ROUTE
	RETAINING WALL BY OTHERS
	RETAINING WALL
	MATCHLINE
	LIMIT OF CONSTRUCTION
	PROPERTY LINE
	DECORATIVE FENCE WITH GATE
	CHAINLINK FENCE
	TYP. STAIR W/HANDRAILS
	TYP. RAMP W/HANDRAILS
	TYP. IN-LINE CURB RAMP
	HARDSCAPE MATERIAL ID (SEE HARDSCAPE SCHEDULE)
	SITE FURNISHING ID (SEE HARDSCAPE SCHEDULE)
	LANDSCAPE LIGHT FIXTURE ID (SEE HARDSCAPE SCHEDULE)
	FENCE ID (SEE HARDSCAPE SCHEDULE)
	DRAINAGE INLET (SEE HD-01)
	SURFACE DRAINAGE FLOW
	STORMWATER DRAIN PIPE SEE CIVIL PLANS FOR SIZE
	UNDERDRAIN (SEE HD-01)
	STRIP DRAIN (SEE HD-01)
	ELEVATION BREAK LINE
	PROPOSED CONTOURS
	EXISTING CONTOURS
	PROPOSED SPOT ELEVATION
	GEOMETRY CONTROL POINT
	GEOMETRY COORDINATE
	GEOMETRY COORDINATE
	LANDSCAPE TAG



P.O. Box 547368, Orlando, FL 32854-7368
Landscape Architecture & Planning
www.libradesigngroup.com

© 2024 Libra Design Group - All Rights Reserved.
This document is the property of Libra Design Group, Inc. and is presented as an instrument of service. Modification, reproduction, copying or other use without the written consent of Libra Design Group, Inc. is hereby expressly prohibited.

Florida License: LC26000253

OWNER

Lake Mary, Florida

DATE: FOR: ISSUED

2024.04.30 COUNTY PUD

City Pointe
Cocoa, Florida

KEY PLAN

JOB NO.: 24101

DESIGNED BY: BFD

DRAWN BY:

CHECKED BY: BFD

PROJECT APPROVAL:

TITLE

GENERAL NOTES
&
ABBREVIATIONS

SHEET NO.

GN-01

109



P.O. Box 547368, Orlando, FL 32854-7368
Landscape Architecture & Planning
www.libradesigngroup.com

© 2024 Libra Design Group - All Rights Reserved.
This document is the property of Libra Design Group, Inc. and is
presented as an instrument of service. Modification, reproduction,
copying or other use without the written consent of Libra Design
Group, Inc. is hereby expressly prohibited.

Florida License: LC26000253

OWNER

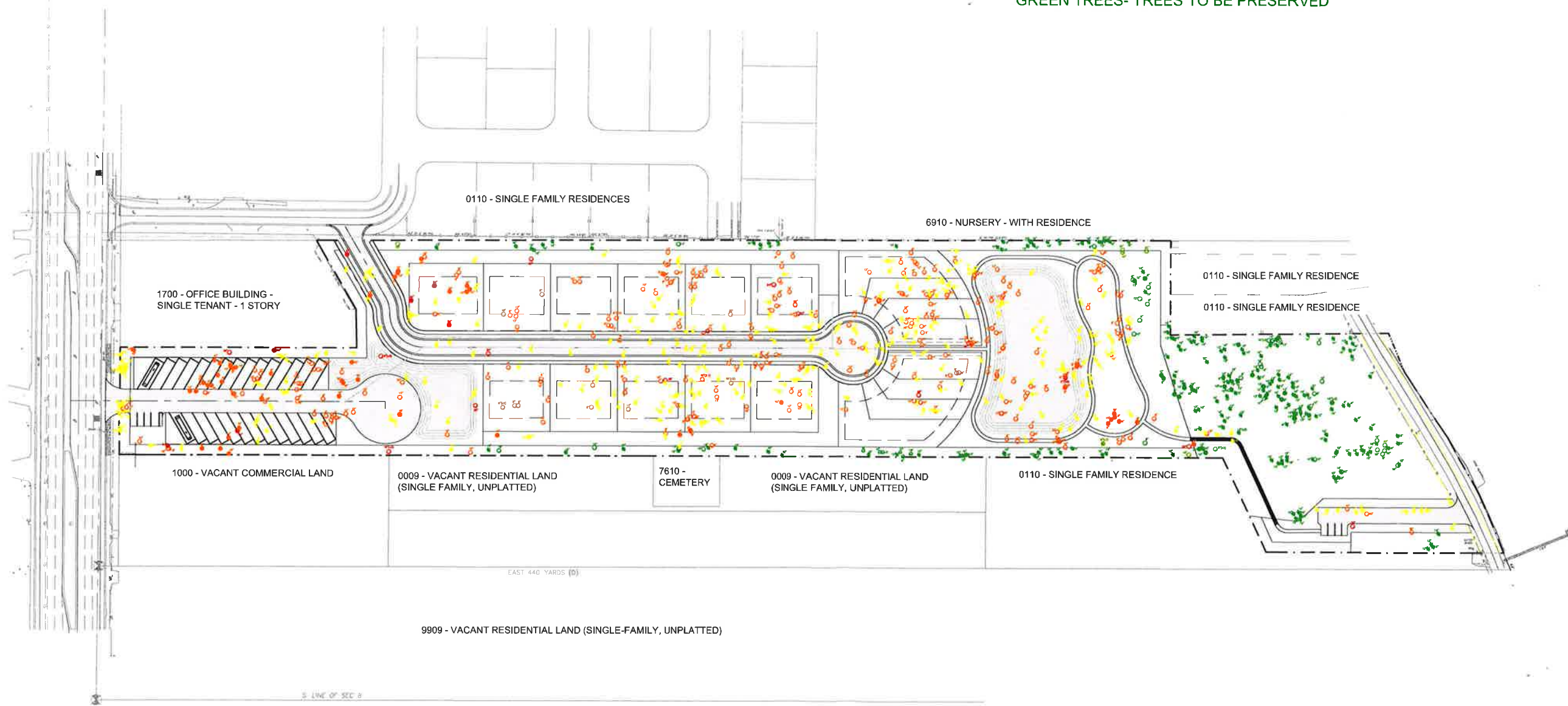
Lake Mary, Florida

ISSUED

DATE: FOR:
2024.04.30 COUNTY PUD

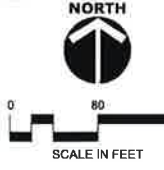
TREE REMOVAL LEGEND

- YELLOW TREE - PALM TREES REMOVED
- ORANGE TREES - <23" TREES REMOVED
- RED TREES - SPECIMEN TREES REMOVED
- GREEN TREES - TREES TO BE PRESERVED



City Pointe
Cocoa, Florida

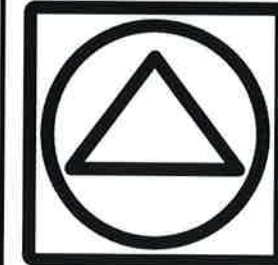
KEY PLAN



JOB NO.: 24101
DESIGNED BY: BD
DRAWN BY: JD
CHECKED BY: BD
PROJECT APPROVAL: _____

TITLE
**LOT 2
TREE REMOVAL
OVERALL PLAN**

SHEET NO.
L-400
110



P.O. Box 547368, Orlando, FL 32854-7368
Landscape Architecture & Planning
www.libradesigngroup.com

© 2024 Libra Design Group - All Rights Reserved.
This document is the property of Libra Design Group, Inc. and is
presented as an instrument of service. Modification, reproduction,
copying or other use without the written consent of Libra Design
Group, Inc. is hereby expressly prohibited.

Florida License: LC26000253

OWNER _____

Lake Mary, Florida
ISSUED _____

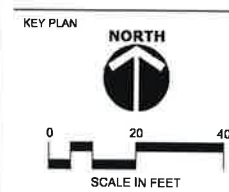
DATE: FOR: _____
2024.04.30 COUNTY PUD

**1700 - OFFICE BUILDING -
SINGLE TENANT - 1 STORY**

1000 - VACANT COMMERCIAL LAND

**0009 - VACANT RESIDE
(SINGLE FAMILY, UNPL)**

**City Pointe
Cocoa, Florida**



KEY PLAN
NORTH
0 20 40
SCALE IN FEET

JOB NO.: 24101
DESIGNED BY: BD
DRAWN BY: JD
CHECKED BY: BD
PROJECT APPROVAL: _____

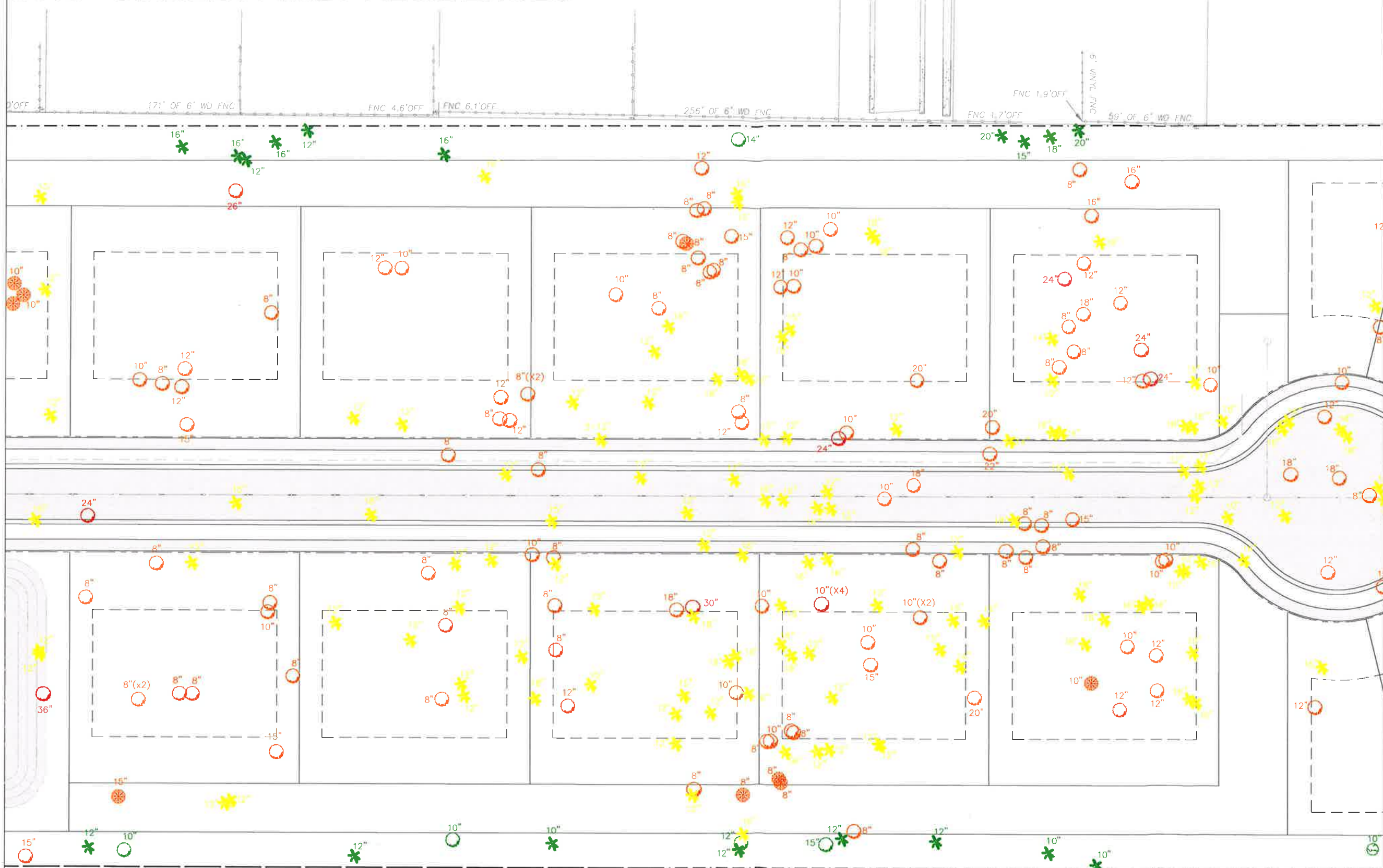
TITLE
**TREE
REMOVAL
PLAN**

SHEET NO.

L-401



0110 - SINGLE FAMILY RESIDENCES



LIBRA
design group

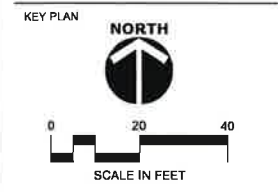


P.O. Box 547368, Orlando, FL 32854-7368
Landscape Architecture & Planning
www.libradesigngroup.com

© 2024 Libra Design Group - All Rights Reserved.
This document is the property of Libra Design Group, Inc. and is
presented as an instrument of service. Modification, reproduction,
copying or other use without the written consent of Libra Design
Group, Inc. is hereby expressly prohibited.

Florida License LC28000253
OWNER _____
Laine Mary, Florida
ISSUED _____
DATE: FOR: _____
2024.04.30 COUNTY PUD

City Pointe
Cocoa, Florida



JOB NO.: 24101
DESIGNED BY: BD
DRAWN BY: JD
CHECKED BY: BD
PROJECT APPROVAL: _____

TITLE
TREE
REMOVAL
PLAN

SHEET NO.
L-402

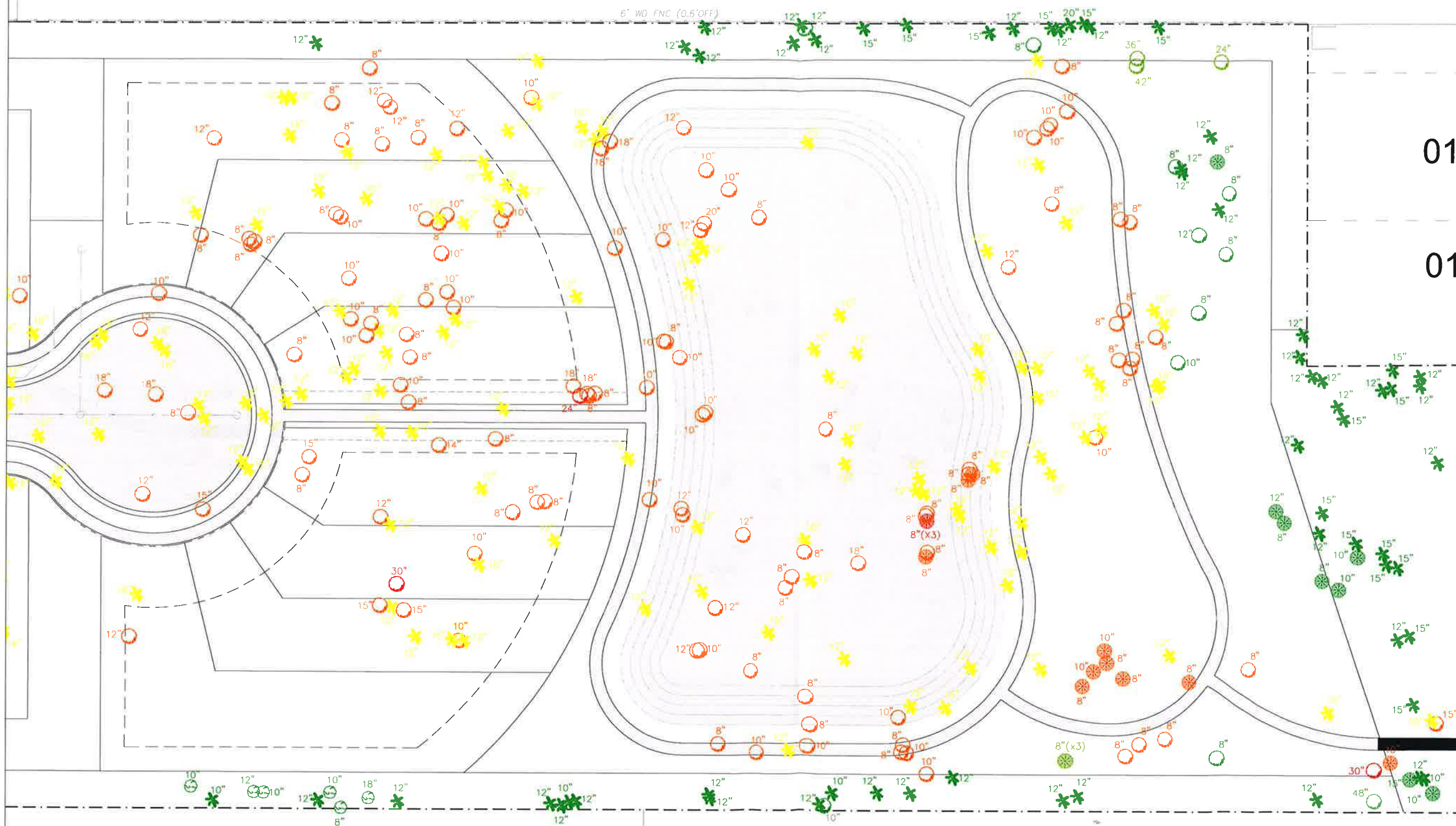
RESIDENTIAL LAND
(UNPLATTED)

7610 -
CEMETERY

0009 - VACANT RESID
(SINGLE FAMILY, UNP

112

6910 - NURSERY - WITH RESIDENCE



CANT RESIDENTIAL LAND
FAMILY, UNPLATTED)

0110 - SINGLE FAMILY RESIDENCE

LIBRA
design group



P.O. Box 547368, Orlando, FL 32854-7368
Landscape Architecture & Planning
www.libradesigngroup.com

© 2024 Libra Design Group - All Rights Reserved.
This document is the property of Libra Design Group, Inc. and is
presented as an instrument of service. Modification, reproduction,
copying or other use without the written consent of Libra Design
Group, Inc. is hereby expressly prohibited.

Florida License LC26000253

OWNER

Lake Mary, Florida

ISSUED

DATE: FOR:
2024.04.30 COUNTY PUD

01

01

City Pointe
Cocoa, Florida

KEY PLAN



JOB NO.: 24101
DESIGNED BY: BD
DRAWN BY: JD
CHECKED BY: BD
PROJECT APPROVAL: _____

TITLE

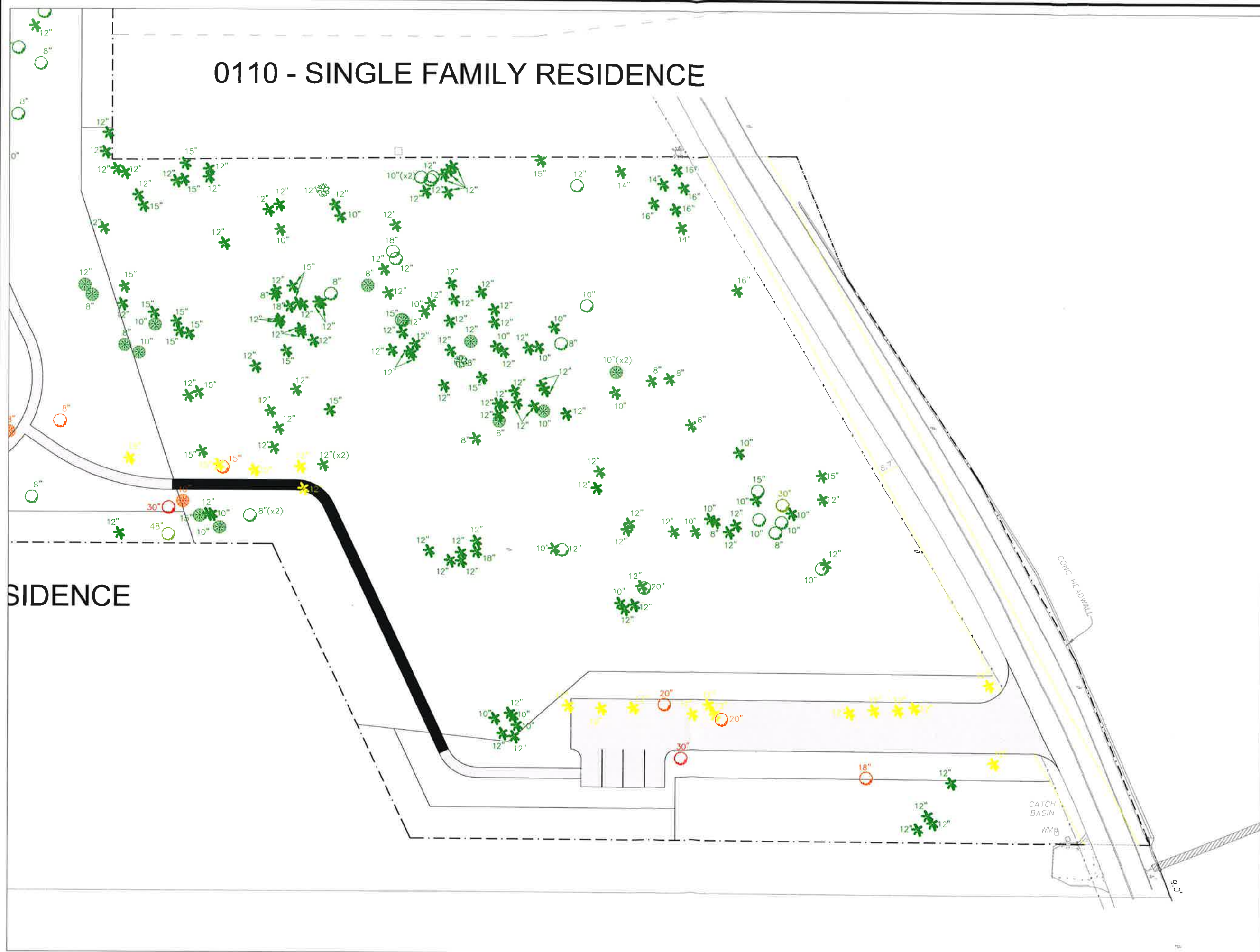
TREE
REMOVAL
PLAN

SHEET NO.

L-403

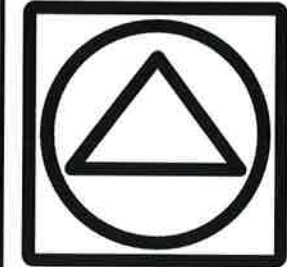
113

0110 - SINGLE FAMILY RESIDENCE



SIDENCE

LIBRA
design group



P.O. Box 547368, Orlando, FL 32854-7368
Landscape Architecture & Planning
www.libradesigngroup.com

© 2024 Libra Design Group - All Rights Reserved.
This document is the property of Libra Design Group, Inc. and is
presented as an instrument of service. Modification, reproduction,
copying or other use without the written consent of Libra Design
Group, Inc. is hereby expressly prohibited.

Florida License: LC26000253

OWNER

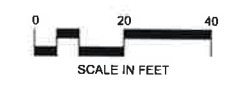
Lake Mary, Florida

ISSUED

DATE: FOR:
2024.04.30 COUNTY PUD

City Pointe
Cocoa, Florida

KEY PLAN



JOB NO.:	24101
DESIGNED BY:	BD
DRAWN BY:	JD
CHECKED BY:	BD
PROJECT APPROVAL:	

TITLE

TREE
REMOVAL
PLAN

SHEET NO.

L-404

114



P.O. Box 547368, Orlando, FL 32854-7368
Landscape Architecture & Planning
www.libradesigngroup.com

© 2024 Libra Design Group - All Rights Reserved.
This document is the property of Libra Design Group, Inc. and is
presented as an instrument of service. Modification, reproduction,
copying or other use without the written consent of Libra Design
Group, Inc. is hereby expressly prohibited.

Florida License LC2600023

OWNER

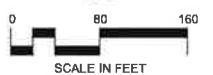
Lake Mary, Florida

ISSUED

DATE: FOR:
2024.04.30 COUNTY PUD

City Pointe
Cocoa, Florida

KEY PLAN

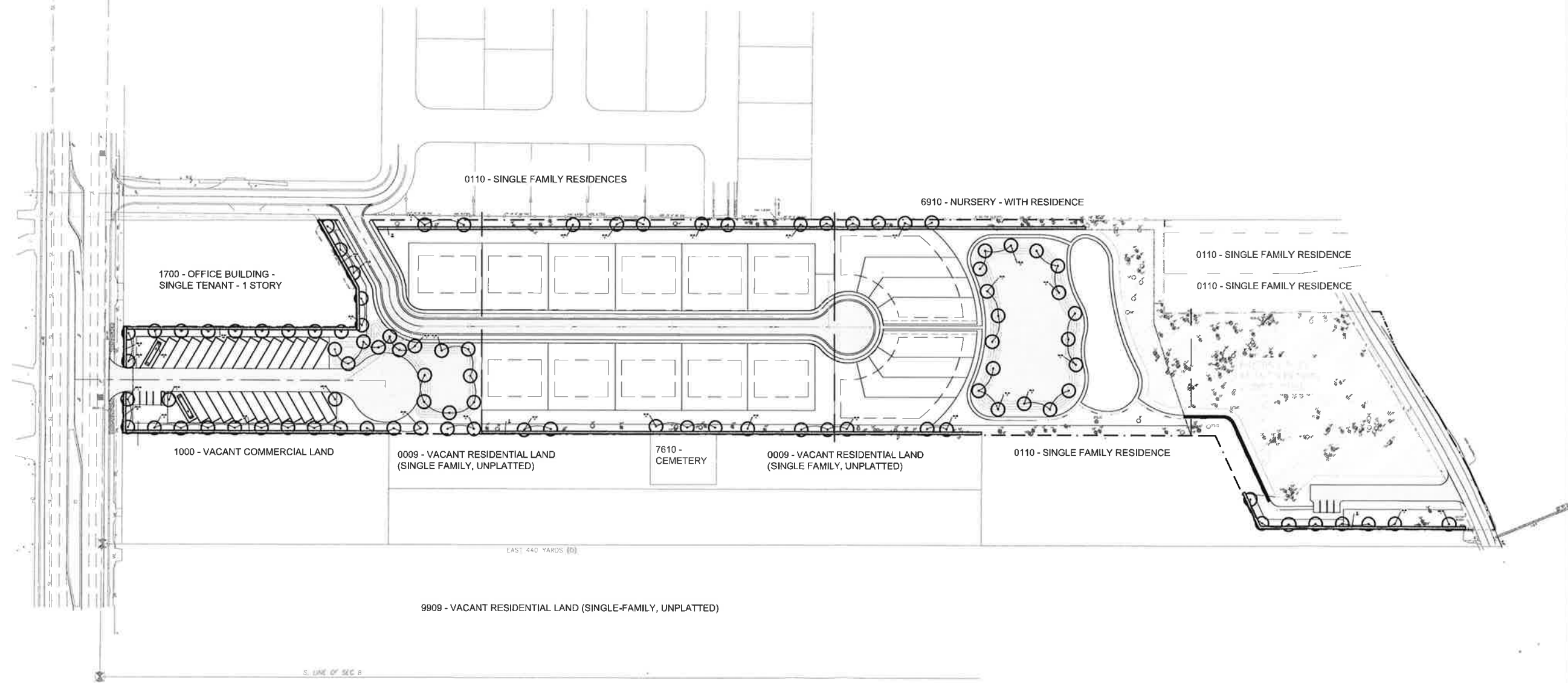


JOB NO.: 24101
DESIGNED BY: BD
DRAWN BY: JD
CHECKED BY: BD
PROJECT APPROVAL: _____

TITLE
**LOT 2
TREE REMOVAL
OVERALL PLAN**

SHEET NO.
L-500

115



S. LINE OF SEC. 8

EAST 440 YARDS (D)



P.O. Box 547368, Orlando, FL 32854-7368
Landscape Architecture & Planning
www.libradesigngroup.com

© 2024 Libra Design Group - All Rights Reserved.
This document is the property of Libra Design Group, Inc. and is
presented as an instrument of service. Modification, reproduction,
copying or other use without the written consent of Libra Design
Group, Inc. is hereby expressly prohibited.

Florida License LC26000253

OWNER

Lake Mary, Florida

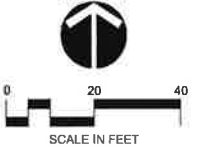
ISSUED

DATE: FOR:
2024.04.30 COUNTY PUD

City Pointe
Cocoa, Florida

KEY PLAN

NORTH



JOB NO.: 24101

DESIGNED BY: BD

DRAWN BY: JD

CHECKED BY: BD

PROJECT APPROVAL: _____

TITLE

TREE
REMOVAL
PLAN

SHEET NO.

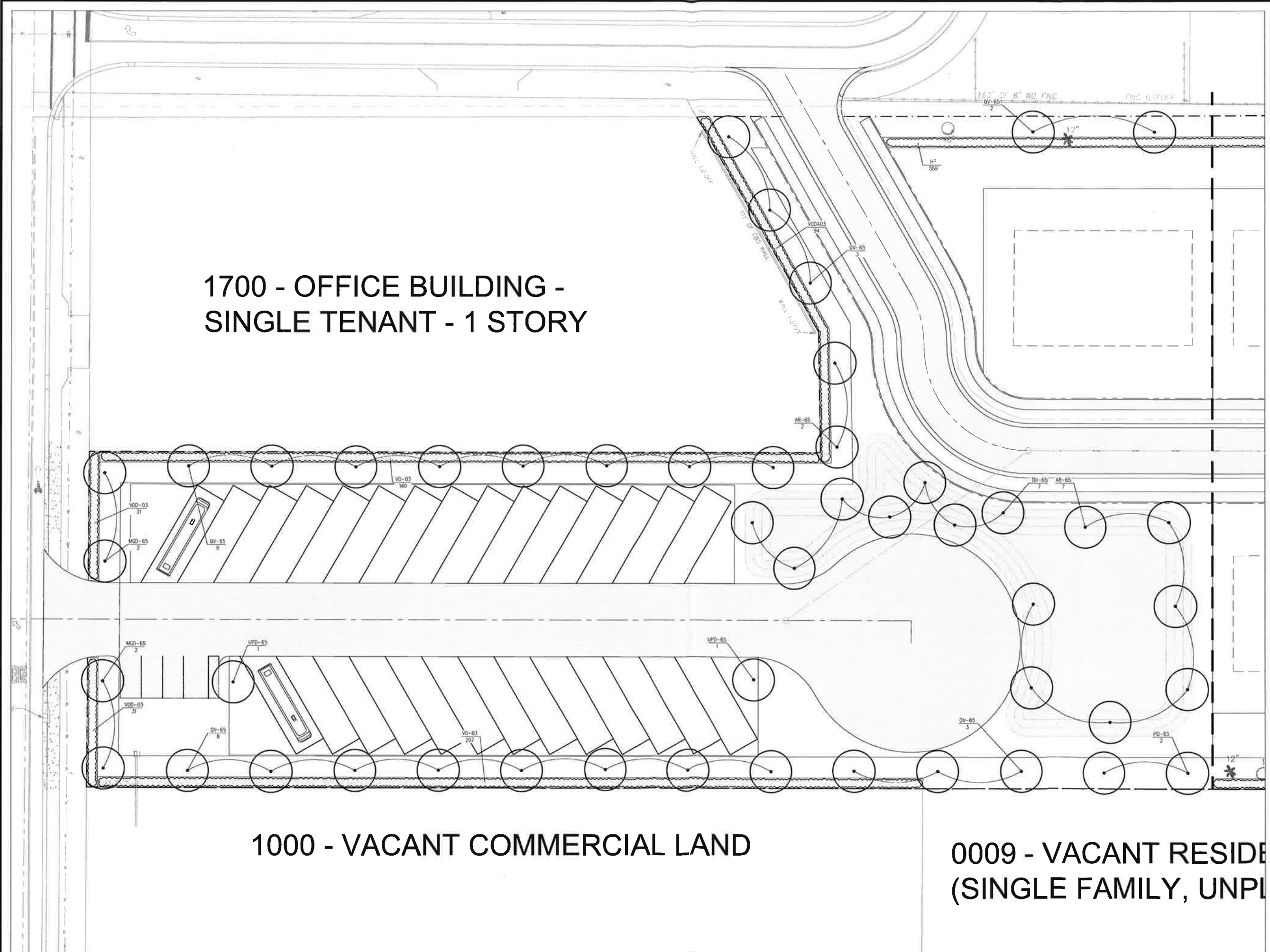
L-501

116

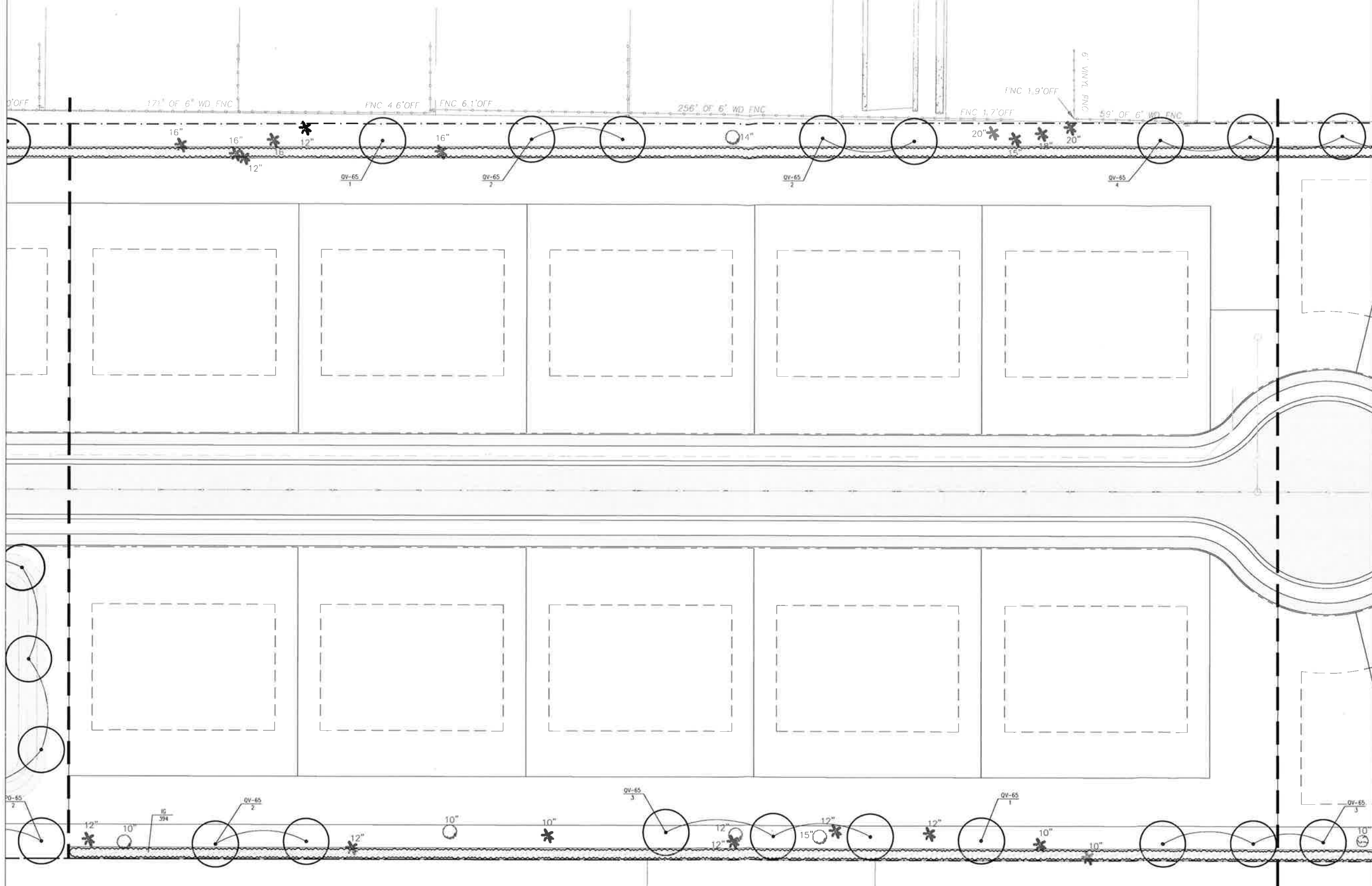
1700 - OFFICE BUILDING -
SINGLE TENANT - 1 STORY

1000 - VACANT COMMERCIAL LAND

0009 - VACANT RESIDE
(SINGLE FAMILY, UNPL



0110 - SINGLE FAMILY RESIDENCES



RESIDENTIAL LAND
(UNPLATTED)

7610 -
CEMETERY

0009 - VACANT RESID
(SINGLE FAMILY, UNP

LIBRA
design group



P.O. Box 547368, Orlando, FL 32854-7368
Landscape Architecture & Planning
www.libradesigngroup.com

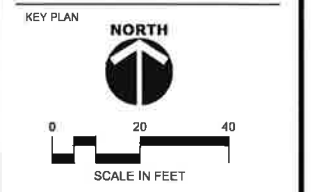
© 2024 Libra Design Group - All Rights Reserved.
This document is the property of Libra Design Group, Inc. and is
presented as an instrument of service. Modification, reproduction,
copying or other use without the written consent of Libra Design
Group, Inc. is hereby expressly prohibited.
Florida License: LC26000253

OWNER

Lake Mary, Florida
ISSUED

DATE: 2024.04.30 FOR: COUNTY PUD

City Pointe
Cocoa, Florida



JOB NO.: 24101
DESIGNED BY: BD
DRAWN BY: JD
CHECKED BY: BD

PROJECT APPROVAL: _____

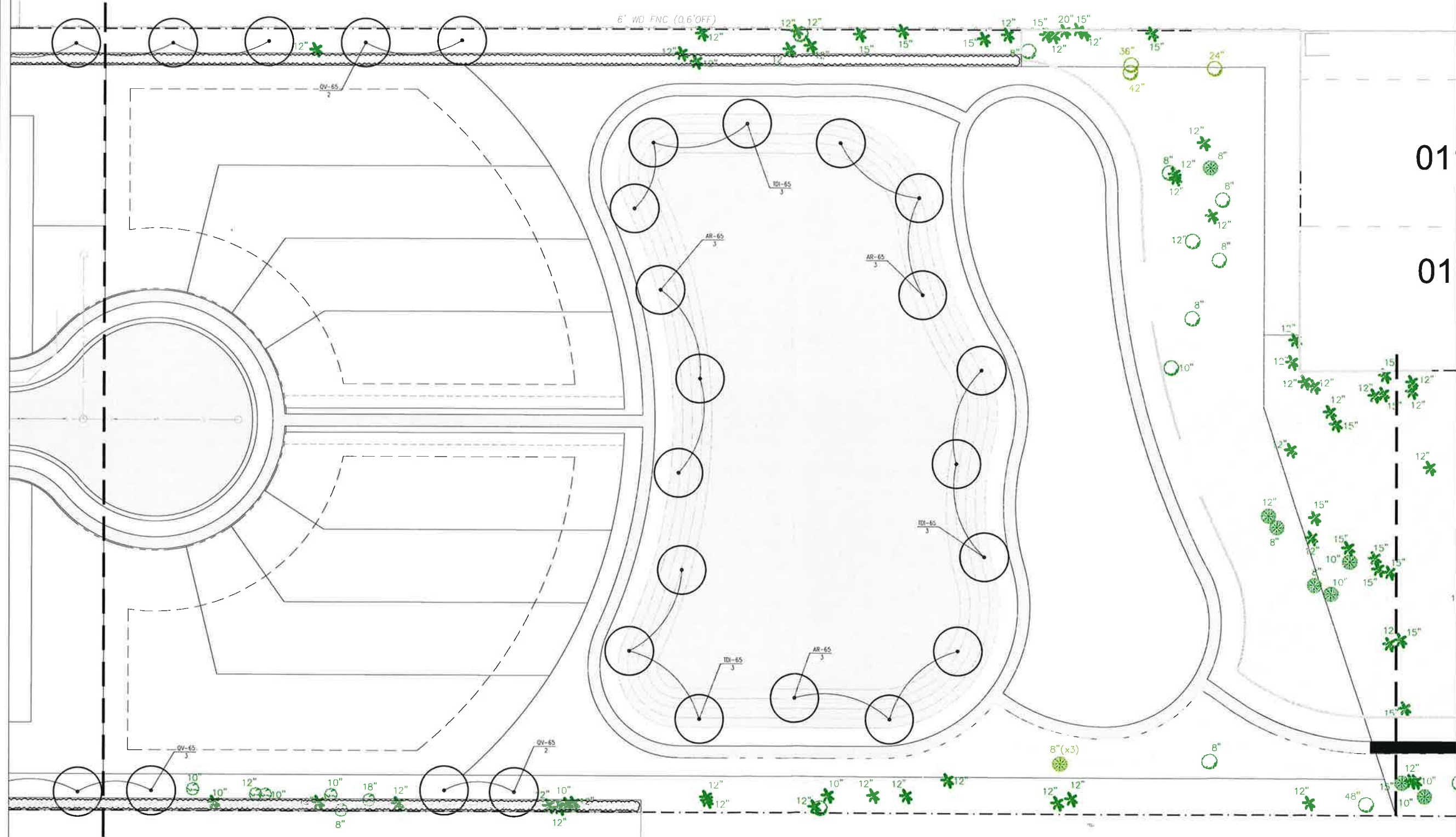
TITLE
TREE
REMOVAL
PLAN

SHEET NO.

L-502

117

6910 - NURSERY - WITH RESIDENCE



CANT RESIDENTIAL LAND
FAMILY, UNPLATTED)

0110 - SINGLE FAMILY RESIDENCE

LIBRA
design group



P. O. Box 547368, Orlando, FL 32854-7368
Landscape Architecture & Planning
www.libradesigngroup.com

© 2024 Libra Design Group - All Rights Reserved.
This document is the property of Libra Design Group, Inc. and is
presented as an instrument of service. Modification, reproduction,
copying or other use without the written consent of Libra Design
Group, Inc. is hereby expressly prohibited.

Florida License LC28000293

OWNER

Lake Mary, Florida

ISSUED

DATE: FOR:
2024.04.30 COUNTY PUD

01

01

City Pointe
Cocoa, Florida

KEY PLAN

NORTH



SCALE IN FEET

JOB NO.: 24101
DESIGNED BY: BD
DRAWN BY: JD
CHECKED BY: BD
PROJECT APPROVAL: _____

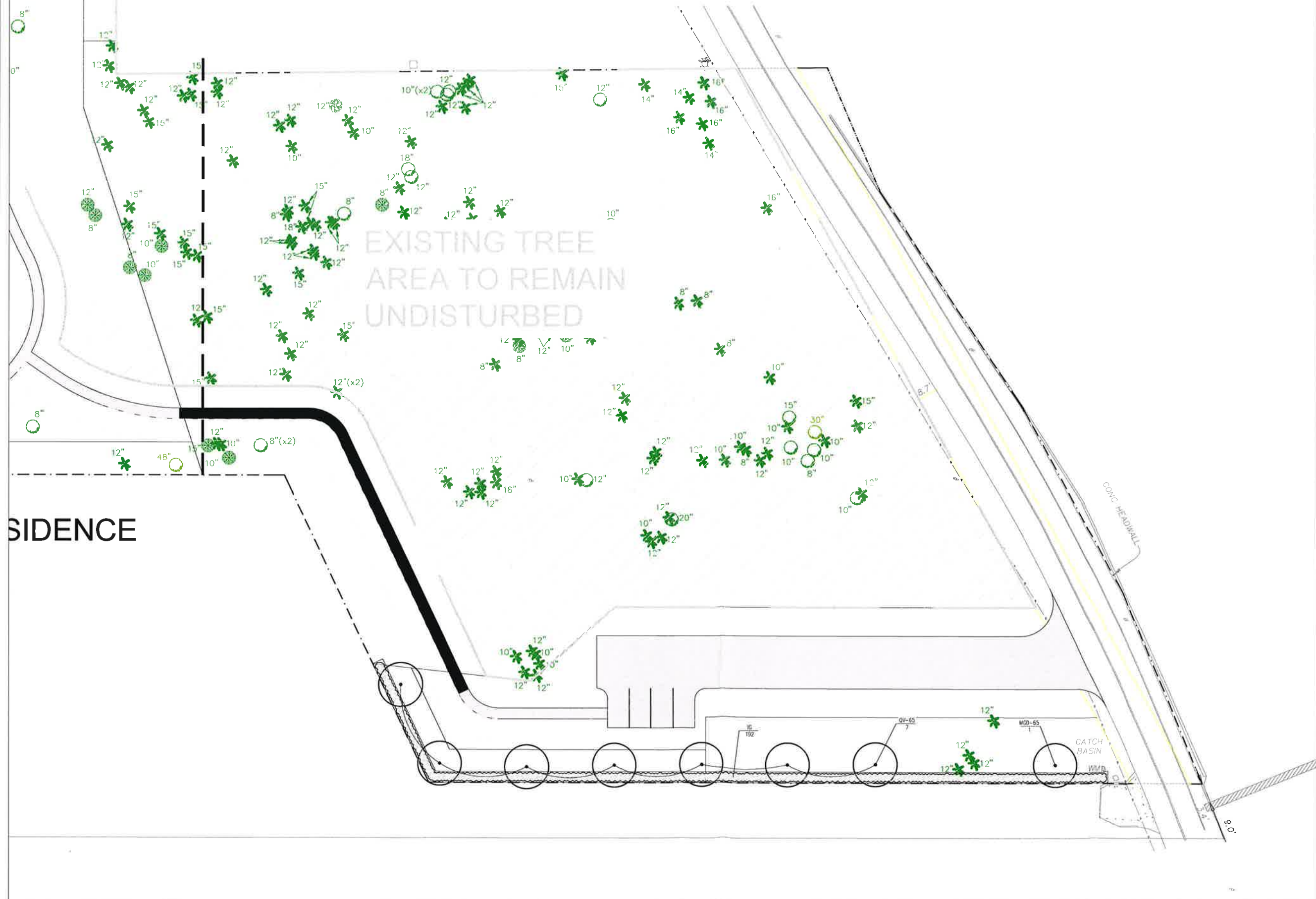
TITLE
TREE
REMOVAL
PLAN

SHEET NO.

L-503

118

0110 - SINGLE FAMILY RESIDENCE



LIBRA
design group



P.O. Box 547368, Orlando, FL 32854-7368
Landscape Architecture & Planning
www.libradesigngroup.com

© 2024 Libra Design Group - All Rights Reserved.
This document is the property of Libra Design Group, Inc. and is
presented as an instrument of service. Modification, reproduction,
copying or other use without the written consent of Libra Design
Group, Inc. is hereby expressly prohibited.

Florida License LC26000253

OWNER

Lake Mary, Florida

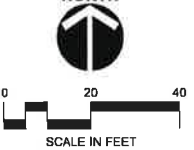
ISSUED

DATE: FOR:
2024.04.30 COUNTY PUD

City Pointe
Cocoa, Florida

KEY PLAN

NORTH



JOB NO.: 24101

DESIGNED BY: BD

DRAWN BY: JD

CHECKED BY: BD

PROJECT APPROVAL: _____

TITLE

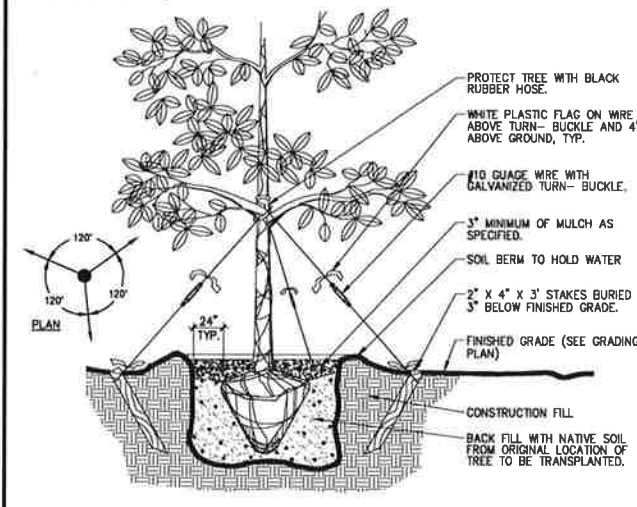
TREE
REMOVAL
PLAN

SHEET NO.

L-504

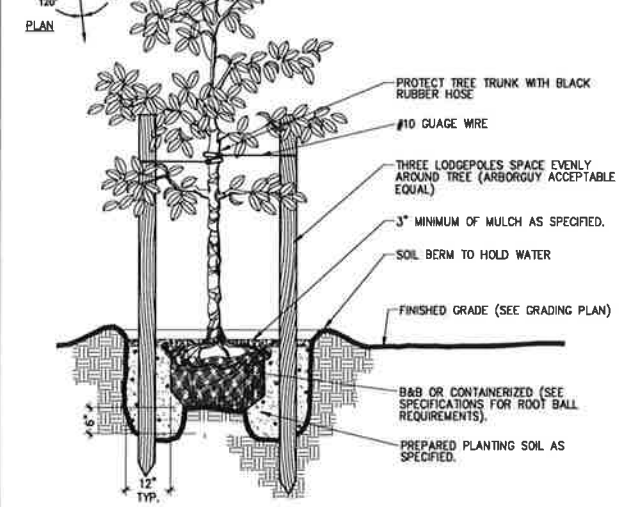
119

NOTE:
CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
MAXIMUM 1" MULCH LAYER ON TOP OF ROOTBALL AND NO MULCH WITHIN 12" RADIUS OF TRUNK.
MAXIMUM 3" MULCH LAYER BEYOND 12" RADIUS OF TRUNK W/NO ROOTBALL SIDES EXPOSED.
ALWAYS EXPOSE ROOT FLARE.



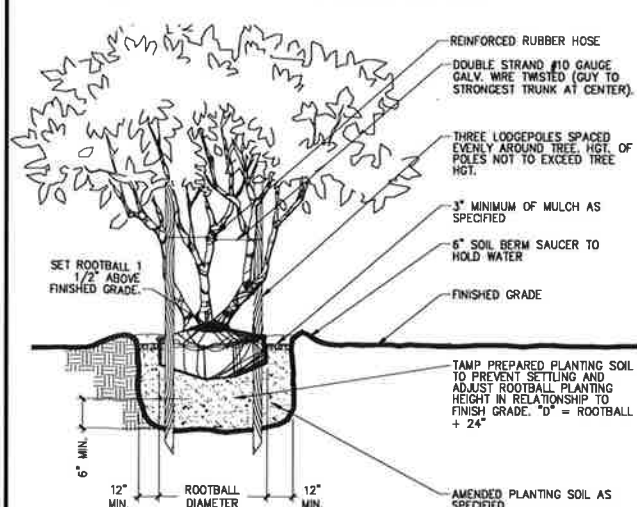
1 LARGE TREE PLANTING DETAIL SCALE: NONE

NOTE:
CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.



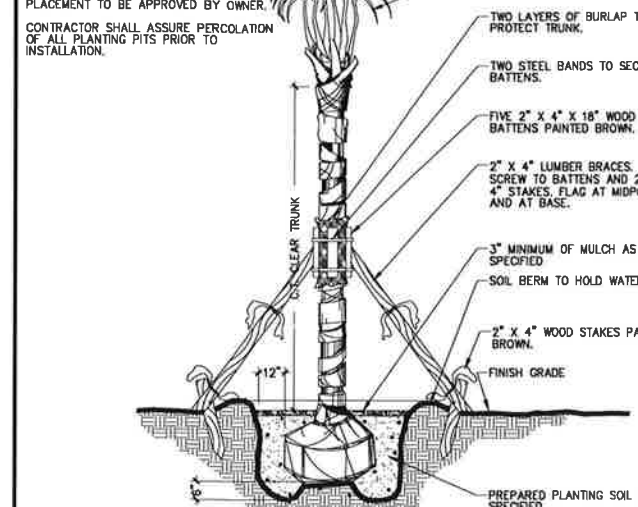
2 SMALL TREE PLANTING DETAIL SCALE: NONE

NOTE:
CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING BEDS/ PITS PRIOR TO INSTALLATION
ALL STAKING AND CROSS MEMBERS TO BE PRESSURE TREATED PINE
FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY THE OWNER



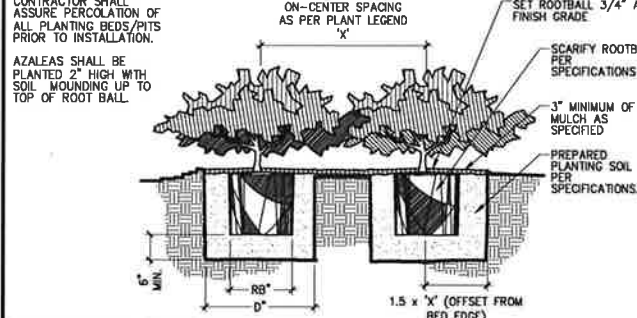
3 MULTI-TRUNK TREE PLANTING DETAIL SCALE: NONE

NOTE:
SEE PLANS AND SPECS. FOR PALMS W/ BOOTS TO REMAIN ON TRUNK
FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.



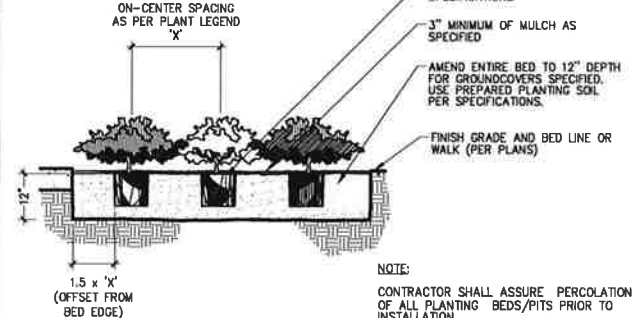
4 PALM TREE PLANTING DETAIL SCALE: NONE

NOTE:
CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING BEDS/PITS PRIOR TO INSTALLATION.
AZALEAS SHALL BE PLANTED 2" HIGH WITH SOIL MOUNDING UP TO TOP OF ROOT BALL



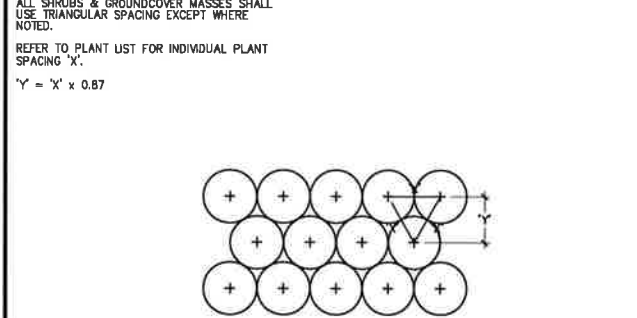
5 TYPICAL SHRUB PLANTING DETAIL SCALE: NONE

NOTE:
CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING BEDS/PITS PRIOR TO INSTALLATION.



6 TYPICAL GROUNDCOVER PLANTING DETAIL SCALE: NONE

NOTE:
ALL SHRUBS & GROUNDCOVER MASSES SHALL USE TRIANGULAR SPACING EXCEPT WHERE NOTED.
REFER TO PLANT LIST FOR INDIVIDUAL PLANT SPACING 'X'.
 $Y = 'X' \times 0.87$



7 TYPICAL PLANT SPACING PLANTING DETAIL SCALE: NONE

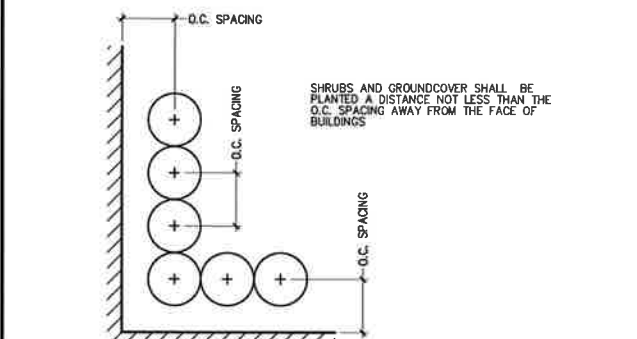
NOTE:
CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING BEDS/PITS PRIOR TO INSTALLATION.

TOP OF ROOTBALL IN RELATION TO NATURAL GRADE LINE (NGL)

CONTAINER SIZE	1-3 GAL	5-7 GAL	15-65 GAL	100 GAL +
ROOT BALL HEIGHT ABOVE NGL	1"	2"	4"	6"

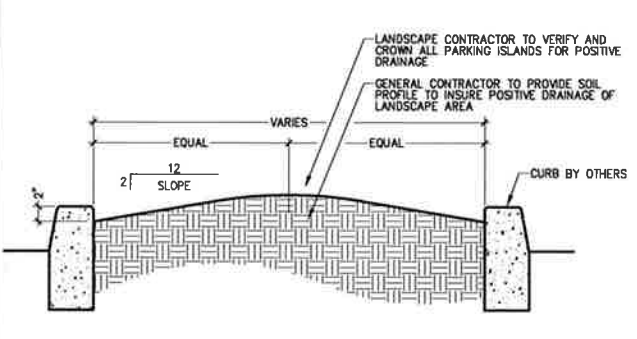
8 ROOTBALL PACEMENT TO NATURAL GRADE TABLE SCALE: NONE

NOTE:
SHRUBS AND GROUNDCOVER SHALL BE PLANTED A DISTANCE NOT LESS THAN THE O.C. SPACING AWAY FROM THE FACE OF BUILDINGS



9 PLANTING ADJACENT TO BUILDINGS PLANTING DETAIL SCALE: NONE

NOTE:
LANDSCAPE CONTRACTOR TO VERIFY AND CROWN ALL PARKING ISLANDS FOR POSITIVE DRAINAGE
GENERAL CONTRACTOR TO PROVIDE SOIL PROFILE TO INSURE POSITIVE DRAINAGE OF LANDSCAPE AREA



10 LANDSCAPE ISLAND GRADING DETAIL SCALE: NONE



P.O. Box 547368, Orlando, FL 32854-7368
Landscape Architecture & Planning
www.libradesigngroup.com

© 2024 Libra Design Group - All Rights Reserved.
This document is the property of Libra Design Group, Inc. and is provided as an instrument of service. Modification, reproduction, copying or other use without the written consent of Libra Design Group, Inc. is hereby expressly prohibited.
Florida License: LC26000253

OWNER: _____
DATE: _____ FOR: _____
ISSUED: _____
2024.04.30 COUNTY PUD

Lake Mary, Florida
ISSUED
DATE: _____ FOR: _____
2024.04.30 COUNTY PUD

City Pointe
Cocoa, Florida

KEY PLAN

JOB NO.: 24101
DESIGNED BY: BFD
DRAWN BY: JPD
CHECKED BY: BFD
PROJECT APPROVAL: _____

TITLE
LANDSCAPE
DETAILS
& SCHEDULE

SHEET NO.

L-601

120

GENERAL LANDSCAPE NOTES

The work consists of the provision of all materials and work as called for on the landscape plans, specifications and as herein specified. This work shall include, but is not limited to, the supplying of all plant materials specified, the furnishing of all labor, equipment, water, electricity, equipment and all materials called for and in performing all operations in connection with the landscape installation. Further, the work shall include maintaining of all plants and planting areas until final acceptance by the owner and fulfilling all guarantee provisions. The landscape contractor shall assign a qualified project manager and field supervisor to work directly with the Landscape Architect and supervise the work at all times through final owner acceptance.

All installation of plant material shall comply with applicable jurisdictional codes. The contractor is responsible for obtaining all permits associated with their work.

All on-site existing conditions including surface and subsurface utilities, grades, dimensions and soil conditions shall be verified by the landscape contractor before construction begins. The landscape contractor shall become familiar with all plans prepared by others that affect the landscape and irrigation work. Any discrepancies shall be brought to the attention of the Landscape Architect.

Every possible safeguard shall be taken to protect building surfaces, equipment, furnishings and existing planting areas to remain including lawn. The contractor is responsible for any damage or injury to person or property that may occur as a result of negligence in the execution of the contractor's work.

The contractor shall interface with other work being performed by other contractors. It will be necessary for the contractor to coordinate and schedule activities, where necessary, with other contractors and their subcontractors. The landscape contractor shall insure that their work does not impact established or projected drainage patterns.

Prior to planting installation, the contractor shall confirm the availability of all the specified plant materials and make arrangements with the Landscape Architect to review and mutually field lag agreed upon plant materials at least 2 weeks prior to procurement and delivery to the job site. Representative samples of shrubs and groundcover to be provided to the Landscape Architect by the landscape contractor in lieu of field visits.

All plant material shall meet or exceed the requirements for FLORIDA #1 quality in accordance with the grades and standards for nursery plants published by the State of FLORIDA, Department of Agriculture, current edition.

All plant material sizes specified are minimum sizes. All container and tree caliper sizes are minimum. Container or caliper size may be increased if necessary to provide overall plant size specified.

The landscape contractor shall provide any specified b&b trees from a 'Roots Plus' nursery source. Contact the Roots Plus Growers Association at (800) 837-0111 or visit www.rootspusgrowers.org for the names of member nurseries. All other trees to be container grown or as specified.

All plant material shall be subject to approval at the job site by the Landscape Architect prior to installation. When delivered plant material does not comply with the requirements, the Landscape Architect reserves the right to reject such plants and require the landscape contractor to replace rejected work and continue specified maintenance until reinspected and found to be acceptable. The landscape contractor shall remove rejected plants and materials from the planting site within 48 hours and replace with acceptable materials.

No plant substitutions will be permitted without prior written approval from the Landscape Architect. If specified plant materials are not available, identify the extent and quantity in writing together with a recommended substitution that meets or exceeds the initial requirement.

The landscape contractor shall be responsible for removing existing vegetation as required and preparing planting areas prior to installation of plant materials.

The landscape contractor shall test project soils to verify that the soils on-site are acceptable for proper growth of plant materials and adequate drainage in plant beds and planters. The landscape contractor shall coordinate the location, and procurement of existing on-site soil samples with the Landscape Architect. Representative samples shall be submitted to a certified testing laboratory for analysis. The findings, together with recommendations for amending the soils shall be reviewed and approved by the owner and Landscape Architect prior to delivery and installation of plant materials at the job.

The landscape contractor shall insure adequate vertical drainage in all plant beds and planters. If necessary to insure drainage, vertical drilling through hardpan and compacted fill shall be performed by the contractor.

All planting beds shall be staked in accordance with the plans and approved by the Landscape Architect prior to planting. The landscape contractor shall provide stakes or irrigation flags to locate the edges of all shrub and groundcover plant beds and individual trees and palms. The contractor shall field stake the location of all plant bed outlines and individual trees and obtain the Landscape Architect's approval prior to delivery and installation of the plant material. If existing conditions do not allow the design to be laid out as shown, notify the Landscape Architect immediately.

All proposed trees shall be installed either entirely in or entirely out of planting beds. Planting bed outlines shall not be obstructed and shall be smooth and flowing. If trees are located outside planting beds in sod areas, maintain a minimum 3' wide offset to allow for mowers to maneuver.

The plant quantities showed on the landscape contract documents are for the convenience of the landscape contractor. The landscape contractor is responsible for verifying all quantities and reporting any discrepancies to the Landscape Architect for clarification prior to contract award and commencement of work.

The landscape contractor shall verify the extent of sod work in the field. The contractor shall be responsible for providing grass sod in the areas shown on the plan in sufficient quantity to provide full coverage. Additional sod required will be adjusted based on a square footage unit price. Areas to be sodded shall be amended per soils report to provide required nutrients and soil pH of between 6.0 and 7.0.

The contractor shall be responsible for providing plants, spaced as specified in the plant list. When installing shrubs in planting beds, spacing of material shall take precedence over quantity of materials indicated for planting areas. The contractor shall notify the Landscape Architect immediately if such situations arise. Shrub and groundcover spacing is generally indicated on the plant list for all 'mass plantings'. Accent shrubs and trees that are not part of mass plantings shall be spaced as shown on the plans.

The landscape contractor shall be responsible for the stability and plumb condition of all installed plant materials and replacing any damaged plant material. With plants of equal kind, size and condition at no additional cost to the owner. No chains or cables shall be used when installing plant materials. It shall be the contractor's responsibility to prevent plants and trees from falling or being blown over, and to replace all plants which are damaged due to inadequate guying or staking, at no additional cost to the owner. The contractor shall remove all staking materials the end of the warranty period and dispose offsite.

All planting beds shall be top-dressed with a 3" layer of mulch as specified. All trees shall have a 3" thick mulch ring placed around the base of the trunk. The landscape scope of work includes mulching as an integral part of the project and not as a separate cost or works item.

All plant materials shall receive adequate watering by the landscape contractor as required until the landscape irrigation system is fully operational and until final acceptance by owner.

All existing plant beds to remain within the construction limit line shall be left undisturbed. Existing trees to remain, as noted on the drawings, shall be left undisturbed and protected by wooden barricades erected at the perimeter of the tree drip line (s). No vehicle shall traverse this area nor shall any storage of materials or equipment be permitted within the area of the tree dripline(s). Any existing plant beds or trees damaged by construction activity shall be replaced by the responsible party at their own expense.

No trees shall be planted within designated utility corridors, public right of way (without right of way utilization permit) nor any plants located within four feet (4') of any swale centerline identified on the drawings. Field adjust as necessary and review adjustments with the Landscape Architect prior to installation.

The contractor shall be responsible for providing effective traffic control and removal of all debris and excavated backfill off-site on a daily basis at no additional cost to the owner.

Refer to the Landscape Specifications for additional requirements.

Large Trees

Symbol	Qty	04/30/2024	Common Name	Latin Name	Size	Additional Spec	Space	Native	Drought Tolerant	Florida Friendly
AR-65	16		Red Maple	Acer rubrum	65-Gal.; 14x7; 4" Cal.; 6' C.T.		A.S.	Yes	Yes	Yes
LSR-65	0		Sweetgum	Liquidambar styraciflua 'Rotundiloba'	65-Gal.; 12x6; 3" Cal.; 5' C.S.T.		A.S.	Yes	Yes	Yes
MGD100	0		D.D. Blanchard Southern Magnolia	Magnolia grandiflora 'D.D. Blanchard'	100-Gal.; 12x6; 3 1/2" Cal.;	3' C.T.	A.S.	Yes	Yes	Yes
MGD-65	5		D.D. Blanchard Southern Magnolia	Magnolia grandiflora 'D.D. Blanchard'	65-Gal.; 10x5; 3" Cal.; 3' C.T.;	Full	A.S.	Yes	Yes	Yes
MGD-30	0		D.D. Blanchard Southern Magnolia	Magnolia grandiflora 'D.D. Blanchard'	30-Gal.; 8x4; 2" Cal.; 2' C.T.;	Full	A.S.	Yes	Yes	Yes
PO-65	2		Sycamore	Platanus occidentalis	65-Gal.; 14x9; 4" Cal.;	4' C.S.T.	A.S.	Yes	Yes	Yes
QVH-65	0		Live Oak	Quercus virginiana 'Highrise'	65-Gal.; 14x8; 3" Cal.;	6' C.S.T.	A.S.	Yes	Yes	Yes
QV-65	53		Live Oak	Quercus virginiana	65-Gal.; 14x8; 3" Cal.;	6' C.S.T.	A.S.	Yes	Yes	Yes
TDI-65	16		Bald Cypress	Taxodium distichum	65-Gal.; 12x5; 3" Cal.; 4' C.T.		A.S.	Yes	Yes	Yes

Medium Trees

Symbol	Qty	Common Name	Latin Name	Size	Additional Spec	Space	Native	Drought Tolerant	Florida Friendly
EJ-65	0	Locust	Eriobotrya japonica	65-Gal.; 12x6; 3" Cal.; 4' C.T.;	Matched	A.S.	No	No	Yes
IOK-65	0	Holly Oakleaf	Ilex hybrida 'Conaf oak leaf'	65-Gal.; 10x5; 3" Cal.; 3' C.T.	Full-to-Pot	A.S.	No	Yes	Yes
UPD-65	2	Drake Elm	Ulmus parvifolia 'Drake'	65-Gal.; 13x9; 3" Cal.; 5' C.T.		A.S.	No	Yes	Yes

Small Trees

Symbol	Qty	Common Name	Latin Name	Size	Additional Spec	Space	Native	Drought Tolerant	Florida Friendly
--------	-----	-------------	------------	------	-----------------	-------	--------	------------------	------------------

Palm Trees

Symbol	Qty	Common Name	Latin Name	Size	Additional Spec	Space	Native	Drought Tolerant	Florida Friendly
--------	-----	-------------	------------	------	-----------------	-------	--------	------------------	------------------

Shrubs

Symbol	Qty	Common Name	Latin Name	Size	Additional Spec	Space	Native	Drought Tolerant	Florida Friendly
AW	0	Copper Leaf	Acalypha wilkesiana	3-Gal.; 2' O.A.; Full		36" O.C.	No	Yes	Yes
AZV	0	Variiegated Shell Ginger Lily	Alpinia zerumbet 'Variegata'	7-Gal.; 30"x30"; Full		A.S.	No	No	Yes
CAU-07	0	Queen Emma Citrum Lily	Cinnum augustum 'Queen Emma'	7-Gal.; 24" O.A.; Full		A.S.	No	No	Yes
CAU-15	0	Queen Emma Citrum Lily	Cinnum augustum 'Queen Emma'	15-Gal.; 36" O.A.; Full		A.S.	No	No	Yes
HP-03	559	Firebush	Hamelia patens	3-Gal.; 18" x 18"		24" O.C.	Yes	Yes	Yes
HP-07	0	Firebush	Hamelia patens	7-Gal.; 24" x 18"		24" O.C.	No	Yes	Yes
ICORDB	0	Dwarf Burford Chinese Holly	Ilex cornuta 'Dwarf Burford'	3-Gal.; 18"x18"; Full		36" O.C.	Yes	Yes	Yes
IF	0	Red Anise	Illicium floridanum	3-Gal.; 24"x18"; Full		36" O.C.	Yes	Yes	Yes
IG	586	Galberry Holly	Ilex glabra	3-Gal.; 36" O.A.		36" O.C.	Yes	Yes	Yes
JV	0	Wax Jasmine	Jasminum volubile	3-Gal.; 24" x 18"		24" O.C.	No	Yes	Yes
VO-03	387	Walter's Viburnum	Viburnum obovatum	3-Gal.; 24" x 18"; Full		36" O.C.	Yes	Yes	Yes
VOD-03	62	Sweet Viburnum	Viburnum odoratissimum	3-Gal.; 24"x18"; Full		36" O.C.	No	Yes	Yes
VODA03	94	Mirror-Leaf Sweet Viburnum	Viburnum odoratissimum awabuki	3-Gal.; 24"x24"; Full		36" O.C.	No	Yes	Yes
ZF-03	0	Cardboard Cycad	Zamia furfuracea	3-Gal.; 24"x24"		24" O.C.	No	Yes	Yes
ZF-07	0	Cardboard Cycad	Zamia furfuracea	7-Gal.; 24"x30"		36" O.C.	No	Yes	Yes

Dwarf Shrubs

Symbol	Qty	Common Name	Latin Name	Size	Additional Spec	Space	Native	Drought Tolerant	Florida Friendly
--------	-----	-------------	------------	------	-----------------	-------	--------	------------------	------------------

Ground Cover

Symbol	Qty	Common Name	Latin Name	Size	Additional Spec	Space	Native	Drought Tolerant	Florida Friendly
--------	-----	-------------	------------	------	-----------------	-------	--------	------------------	------------------

Sod & Mulch

Symbol	Qty	Common Name	Latin Name	Size	Additional Spec	Space	Native	Drought Tolerant	Florida Friendly
PNA-1		Bahia Grass	Paspalum notatum 'Argentine'	Solid Sod		S.F.	No	Yes	Yes
SSF		'Floritam' St. Augustine Sod	Stenotaphrum secundatum 'Floritam'	Solid Sod		S.F.	No	No	Yes

Plant List Notes

Quantities (Qty), if shown above, are presented as a courtesy and shall not be relied upon for the purposes of estimating, bidding or purchasing of labor and/or materials. Sod & Mulch quantities represent square feet.

Any interested party shall derive actual quantities by performing a thorough and complete review of the Landscape Plan(s) with adequate consideration given to all information in the Plant List above excluding quantities.

In the event of a discrepancy between the plant list and plan count, the plans shall control.



P.O. Box 547368, Orlando, FL 32854-7368
Landscape Architecture & Planning
www.libradesigndgroup.com

© 2024 Libra Design Group - All Rights Reserved.
This document is the property of Libra Design Group, Inc. and is
intended as an instrument of service. Modification, reproduction,
copying or other use without the written consent of Libra Design
Group, Inc. is hereby expressly prohibited.

Florida License LC26000263

OWNER

Levo Mary, Florida

ISSUED

DATE: FOR:

2024.04.30 COUNTY PUD

City Pointe
Cocoa, Florida

KEY PLAN

JOB NO.: 24101

DESIGNED BY: BFD

DRAWN BY: JPD

CHECKED BY: BFD

PROJECT APPROVAL: _____

TITLE
**LANDSCAPE
SCHEDULE & NOTES
& SCHEDULE**

SHEET NO.