VILLAGE 2 NEIGHBORHOOD 2 - PHASE 2 SECTIONS 22 AND 27, TOWNSHIP 26 SOUTH, RANGE 36 EAST BREVARD COUNTY, FLORIDA

PLAT NOTES

- BEARINGS SHOWN HEREON ARE BASED ON AN ASSUMED BEARING OF N11°42'22"E ON THE EAST R/W LINE OF RIGEL DRIVE, VILLAGE 2 NEIGHBORHOOD 2 AS RECORDED IN PLAT BOOK 73, PAGE 71, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.
- SURVEY MONUMENTATION WITHIN THE SUBDIVISION SHALL BE SET IN ACCORDANCE WITH FLORIDA STATUTES CHAPTERS 177.091(8) & 177.091(9).
- BREVARD COUNTY VERTICAL CONTROL G6B90, G6B91 AND G6B92 ARE LOCATED WITHIN THE LIMITS OF THESE PLAT BOUNDARIES. FOR VERTICAL CONTROL DATA CONTACT THE BREVARD COUNTY SURVEYING AND MAPPING DEPARTMENT.
- 4. ALL LINES ARE RADIAL UNLESS OTHERWISE NOTED.
- BREVARD COUNTY MANDATORY PLAT NOTES:
- A. AN INGRESS AND EGRESS EASEMENT IS HEREBY DEDICATED TO BREVARD COUNTY OVER AND ACROSS ALL PRIVATE DRAINAGE EASEMENTS, PRIVATE STORMWATER TRACTS AND PRIVATE ROADWAYS FOR LAW ENFORCEMENT, EMERGENCY ACCESS AND EMERGENCY MAINTENANCE.
- B. EACH LOT OWNER PURCHASING A LOT SHOWN ON THIS PLAT CONSENTS TO THE IMPOSITION OF A MUNICIPAL SERVICE BENEFIT UNIT BY BREVARD COUNTY OR OTHER GOVERNMENTAL ENTITY FOR MAINTENANCE OF COMMON AREAS IN THE EVENT OF THE FAILURE OF THE HOMEOWNERS' ASSOCIATION TO MAINTAIN PROPERLY THE COMMON AREAS IN CONFORMANCE WITH THE APPLICABLE REGULATORY PERMITS OR OTHER APPLICABLE REGULATIONS. AN EASEMENT TO THE COMMON AREA MUST BE GRANTED TO BREVARD COUNTY PRIOR TO ESTABLISHMENT OF AN MSBU.
- C. ALL LOT DRAINAGE IS PRIVATE AND IS TO BE MAINTAINED BY THE INDIVIDUAL LOT OWNER OR THE DECLARED MAINTENANCE ENTITY (I.E. HOMEOWNER ASSOCIATION).
- ALL PLATTED UTILITY EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION MAINTENANCE AND OPERATION OF CABLE TELEVISION AND OTHER TELECOMMUNICATION SERVICES. SOUTHERN BELL TELEPHONE AND FLORIDA POWER AND LIGHT AND OTHER UTILITIES, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE OR OPERATION SHALL INTERFERE WITH THE FACILITIES AND SERVICE OF ANOTHER PUBLIC UTILITY
- ALL PRIVATE DRAINAGE EASEMENTS SHOWN AND OR NOTED HEREIN SHALL ALSO BE ACCESS EASEMENTS FOR THE MAINTENANCE AND REPAIR OF SUCH DRAINAGE FACILITIES AND ASSOCIATED IMPROVEMENTS.
- THERE IS HEREBY GRANTED TO BREVARD COUNTY AN EASEMENT FOR EMERGENCY ACCESS AND EMERGENCY REPAIR OVER ALL PRIVATE DRAINAGE EASEMENTS AND PRIVATE DRAINAGE TRACTS.
- ALL DRAINAGE TRACTS SHOWN GRAPHICALLY OR DESCRIBED IN NOTES HEREON ARE PRIVATE. BREVARD COUNTY SHALL NOT HAVE ANY RESPONSIBILITY REGARDING THE MAINTENANCE, REPAIR AND/OR RESTORATION OF ANY STORM PIPES, STORM STRUCTURES OR ASSOCIATED STORM WATER MANAGEMENT FACILITIES LOCATED WITHIN THE LIMITS OF SUCH DRAINAGE EASEMENTS AND/OR TRACTS. SUCH MAINTENANCE, REPAIR AND/OR RESTORATION SHALL BE THE RESPONSIBILITY OF CENTRAL VIERA COMMUNITY ASSOCIATION OR THE VIERA STEWARDSHIP DISTRICT AS DESCRIBED ON THIS PLAT OR IN OTHER INSTRUMENTS RECORDED IN THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA. BREVARD COUNTY IS HEREBY GRANTED THE RIGHT TO DISCHARGE FROM THE PUBLIC RIGHTS-OF-WAY INTO AND THROUGH THE PRIVATE DRAINAGE EASEMENTS AND TRACKS SHOWN HEREON.
- 10. ALL OR PORTIONS OF THE LANDS PLATTED HEREUNDER ARE SUBJECT TO THE FOLLOWING, EXCEPT AS SPECIFICALLY NOTED BELOW
- a. DECLARATION OF COVENANTS, CONDITIONS, EASEMENTS, RESERVATIONS AND RESTRICTIONS FOR CENTRAL VIERA COMMUNITY RECORDED JULY 25, 1994 IN OFFICIAL RECORDS BOOK 3409, PAGE 624, AS AMENDED AND MODIFIED BY THAT CERTAIN SUPPLEMENTAL DECLARATION AND FOURTEENTH AMENDMENT TO THE DECLARATION AND ANNEXATION AGREEMENT NUMBER SIXTY-FOUR RECORDED IN OFFICIAL RECORDS BOOK 6871, PAGE 630, AND THAT CERTAIN SECOND SUPPLEMENTAL DECLARATION AND NINETEENTH AMENDMENT TO THE DECLARATION RECORDED IN OFFICIAL RECORDS BOOK 8904, PAGE 1165, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, AS THE SAME MAY BE AMENDED, MODIFIED OR SUPPLEMENTED FROM TIME TO TIME.
- NOTICE OF CREATION AND ESTABLISHMENT OF THE VIERA STEWARDSHIP DISTRICT DATED AUGUST 8, 2006, AS RECORDED IN OFFICIAL RECORDS BOOK 5683, PAGE 2029, AMENDED BY THE CERTAIN NOTICE OF BOUNDARY AMENDMENT FOR THE VIERA STEWARDSHIP DISTRICT RECORDED IN OFFICIAL RECORDS BOOK 6081, PAGE 1341, AS AMENDED BY THAT CERTAIN AMENDED NOTICE RECORDED IN OFFICIAL RECORDS BOOK 6081, PAGE 1354, ALL OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA
- c. DISCLOSURE OF PUBLIC FINANCING AND MAINTENANCE OF IMPROVEMENTS TO REAL PROPERTY UNDERTAKEN BY VIERA STEWARDSHIP DISTRICT DATED MAY 1, 2013 AS RECORDED IN OFFICIAL RECORDS BOOK 6879, PAGE 1970, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.
- d. VIERA STEWARDSHIP DISTRICT NOTICE OF SPECIAL ASSESSMENTS/GOVERNMENTAL LIEN OF RECORD RECORDED JULY 2, 2020 IN OFFICIAL RECORDS BOOK 8784, PAGE 1579, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, AS AMENDED BY THAT CERTAIN VIERA STEWARDSHIP DISTRICT AMENDED AND RESTATED NOTICE OF SPECIAL ASSESSMENTS/GOVERNMENTAL LIEN OF RECORDS DATED SEPTEMBER 15, 2021, AS RECORDED IN OFFICIAL RECORDS BOOK 9261, PAGE 539, ALL OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.
- e. VIERA STEWARDSHIP DISTRICT NOTICE OF IMPOSITION OF SERIES 2021 SPECIAL ASSESSMENTS (VILLAGE 2) RECORDED NOVEMBER 22, 2021 IN OFFICIAL RECORDS BOOK 9334, PAGE 1389, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.
- f. DECLARATION OF CONSENT TO JURISDICTION OF THE VIERA STEWARDSHIP DISTRICT AND TO IMPOSITION OF SPECIAL ASSESSMENTS (VILLAGE 2), RECORDED NOVEMBER 22, 2021 IN OFFICIAL RECORDS BOOK 9334, PAGE 1413, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA. RESERVATION OF MINERAL RIGHTS SET OUT IN WARRANTY DEED RECORDED IN DEED BOOK 304 PAGE 43, AS AFFECTED BY RELEASE OF SURFACE ENTRY RIGHTS WITH RESPECT TO OIL. GAS AND MINERAL INTEREST RECORDED DECEMBER 30, 1987. IN OFFICIAL RECORDS BOOK
- EASEMENT BY AND BETWEEN A. DUDA & SONS, INC., A FLORIDA CORPORATION, GRANTOR, AND FLORIDA GAS TRANSMISSION COMPANY, GRANTEE, RECORDED JANUARY 4, 1968, IN OFFICIAL RECORDS BOOK 999, PAGE 871 (AS TO LOT 1, BLOCK E AND TRACT G ONLY). DISCLOSURE OF PUBLIC FINANCING AND MAINTENANCE OF IMPROVEMENTS TO REAL PROPERTY UNDERTAKEN BY THE VIERA STEWARDSHIP DISTRICT RECORDED DECEMBER 21, 2021 IN OFFICIAL RECORDS BOOK 9363, PAGE 1078, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.
- 19, 2023 IN OFFICIAL RECORDS BOOK 9841, PAGE 1749, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA. k. DECLARATION OF CONSENT TO JURISDICTION OF THE VIERA STEWARDSHIP DISTRICT AND TO IMPOSITION OF SPECIAL ASSESSMENTS (SERIES 2023), RECORDED ON JULY 19, 2023 IN OFFICIAL RECORDS BOOK 9841, PAGE 1777, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA. LEASE AGREEMENT BY AND BETWEEN THE VIERA COMPANY, A FLORIDA CORPORATION, LESSOR, AND PUBLIX SUPER MARKETS, INC., A FLORIDA CORPORATION, LESSEE, DATED AUGUST 30, 2024, AS EVIDENCED BY THAT CERTAIN MEMORANDUM OF LEASE RECORDED SEPTEMBER

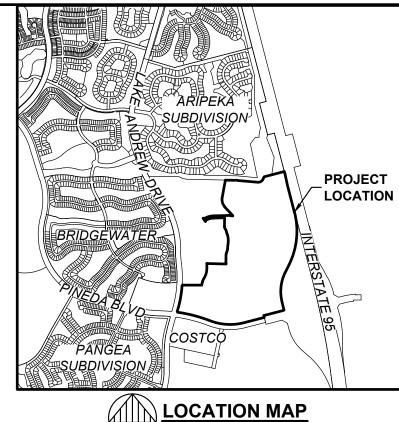
VIERA STEWARDSHIP DISTRICT NOTICE OF IMPOSITION OF SERIES 2023 SPECIAL ASSESSMENTS (2023 ASSESSMENT AREA) RECORDED ON JULY

m. SIDEWALK EASEMENT BY AND BETWEEN A. DUDA & SONS, INC., A FLORIDA CORPORATION, GRANTOR, AND BREVARD COUNTY, FLORIDA, GRANTEE RECORDED JULY 7, 2021, IN OFFICIAL RECORDS BOOK 9182, PAGE 356, PUBLIC RECORDS OF BREVARD COUNTY FLORIDA.

4, 2024 IN OFFICIAL RECORDS BOOK 10149, PAGE 387, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA (AS TO LOT 1, BLOCK B ONLY).

- n. RIGHT OF FIRST OFFER AGREEMENT RECORDED JUNE 11, 2013, IN OFFICIAL RECORDS BOOK 6897, PAGE 187, IN THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA. HOWEVER, SO LONG AS THE PROPERTY IS PLATTED AND DEVELOPED FOR RESIDENTIAL OR MULTI-FAMILY PURPOSES, THE PROPERTY AND THE PLAT ARE EXEMPT FROM SUCH INSTRUMENT PER THE TERMS THEREOF.
- o. TRI-PARTY COLLATERAL ASSIGNMENT OF AGREEMENT RECORDED NOVEMBER 22, 2021 IN OFFICIAL RECORDS BOOK 9334, PAGE 1308, PUBLIC
- RECORDS OF BREVARD COUNTY, FLORIDA. p. TRI-PARTY AGREEMENT REGARDING THE TRUE-UP AND PAYMENT OF VILLAGE 2 MASTER IMPROVEMENT ASSESSMENTS RECORDED NOVEMBER
- 22, 2021 IN OFFICIAL RECORDS BOOK 9334, PAGE 1340, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.
- g. TRI-PARTY COLLATERAL ASSIGNMENT OF AGREEMENT RECORDED ON JULY 19, 2023 IN OFFICIAL RECORDS BOOK 9841, PAGE 1701, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.
- TRI-PARTY AGREEMENT REGARDING THE TRUE-UP AND PAYMENT OF VILLAGE 2 MASTER IMPROVEMENT ASSESSMENTS RECORDED ON JULY 19. 2023 IN OFFICIAL RECORDS BOOK 9841, PAGE 1724, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.
- TRACTS A, B, C, F, H, M, N, O AND P SHALL BE OWNED BY CENTRAL VIERA COMMUNITY ASSOCIATION, INC. AND ARE RESERVED FOR VSD DRAINAGE SYSTEM FACILITIES AND RELATED IMPROVEMENTS, LANDSCAPING, IRRIGATION, SIGNAGE AND RELATED IMPROVEMENTS. TRACT F IS ALSO RESERVED FOR VEHICULAR AND PEDESTRIAN ACCESS TO TRACTS E AND G FOR THE CONSTRUCTION, MAINTENANCE, REPAIR AND OPERATION OF THE IMPROVEMENTS AND USES ALLOWED WITHIN TRACTS E AND G AS DESCRIBED WITHIN THIS PLAT. TRACTS B AND C ARE ALSO RESERVED FOR VEHICULAR AND PEDESTRIAN ACCESS TO TRACT H FOR THE CONSTRUCTION, MAINTENANCE, REPAIR AND OPERATION OF THE IMPROVEMENTS AND USES ALLOWED WITHIN TRACTS E AND G AS DESCRIBED WITHIN THIS PLAT.
- . THE VIERA STEWARDSHIP DISTRICT IS GRANTED A PERPETUAL NON-EXCLUSIVE EASEMENT OVER, UNDER, ACROSS AND THROUGH TRACTS A, B, C, F, H, M AND P FOR THE INSTALLATION, CONSTRUCTION, REPAIR, RECONSTRUCTION, USE, MAINTENANCE, IMPROVEMENT AND INSPECTION OF STORMWATER DRAINAGE FACILITIES AND RELATED IMPROVEMENTS COMPRISING THE VSD DRAINAGE SYSTEM (AS SUCH TERM IS DEFINED IN THE NEIGHBORHOOD DECLARATION); TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS FOR PEDESTRIANS, VEHICLES AND EQUIPMENT OVER AND ACROSS SUCH TRACTS IN CONNECTION THEREWITH TO FACILITATE THE CONTROL, OPERATION AND MAINTENANCE OF ALL SUCH DRAINAGE FACILITIES LOCATED THEREON BY THE VIERA STEWARDSHIP DISTRICT.
- 13. TRACTS J. K AND L SHALL BE OWNED BY CENTRAL VIERA COMMUNITY ASSOCIATION. INC. AND ARE RESERVED FOR UTILITIES. LANDSCAPING. IRRIGATION, SIGNAGE, SIDEWALKS AND RELATED IMPROVEMENTS. TRACTS J AND K ARE ALSO RESERVED FOR VEHICULAR AND PEDESTRIAN ACCESS TO THE OWNERS AND PERMITTED USERS OF TRACT D FOR THE CONSTRUCTION, MAINTENANCE, REPAIR AND OPERATION OF THE IMPROVEMENTS AND USES ALLOWED WITHIN TRACT D AS DESCRIBED WITHIN THIS PLAT. TRACTS L IS ALSO RESERVED FOR VEHICULAR AND PEDESTRIAN ACCESS TO TRACT I FOR THE CONSTRUCTION, MAINTENANCE, REPAIR AND OPERATION OF THE IMPROVEMENTS AND USES ALLOWED WITHIN TRACT I AS DESCRIBED WITHIN THIS PLAT.

- 14. TRACTS D, E, G AND I SHALL BE OWNED BY VIERA STEWARDSHIP DISTRICT AND ARE RESERVED FOR OPEN SPACE, DRAINAGE AND RELATED IMPROVEMENTS, INCLUDING, BUT NOT LIMITED TO, A SHARED USE TRAIL, AND FOR WETLAND PRESERVATION WITH ASSOCIATED UPLAND BUFFERS AND THE PRESERVATION AND PROTECTION OF PREFERRED COVER TYPE ("PCT") TREE CANOPY WITHIN THAT PORTION OF SAID TRACTS DESIGNATED AS PCT EASEMENT AREA, EXCLUDING THOSE AREAS OF SUCH TRACTS CONTAINING (I) PRESERVED WETLANDS AND ASSOCIATED UPLAND BUFFERS OR (II) PCT TREE CANOPY LOCATED WITHIN THE LIMITS OF A DESIGNATED PCT EASEMENT AREA, WHICH AREAS SHALL BE CONTROLLED AND MAINTAINED BY THE VIERA STEWARDSHIP DISTRICT IN ACCORDANCE WITH THE WEST VIERA PUD AND APPLICABLE LAW.
- 15. THE PUBLIC SANITARY SEWER EASEMENTS AND PUBLIC REUSE EASEMENTS SHOWN ON SHEETS 5-7, AND 10-13 OF THIS PLAT ARE DEDICATED TO BREVARD COUNTY FOR THE OPERATION, MAINTENANCE, REPAIR AND CONSTRUCTION OF SANITARY SEWER AND REUSE WATER MAIN FACILITIES AND ASSOCIATED IMPROVEMENTS, RESPECTIVELY; TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS FOR PEDESTRIANS, VEHICLES AND EQUIPMENT IN CONNECTION THEREWITH (SEE SHEET 13 FOR EASEMENT DETAILS).
- 16. THE PRIVATE SIDEWALK EASEMENT WITHIN TRACT M IS DEDICATED TO THE VIERA STEWARDSHIP DISTRICT FOR THE OPERATION. MAINTENANCE. REPAIR AND CONSTRUCTION OF A SIDEWALK AND ASSOCIATED IMPROVEMENTS; TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS FOR PEDESTRIANS, VEHICLES AND EQUIPMENT IN CONNECTION THEREWITH (SEE SHEET 13 FOR EASEMENT DETAILS).
- 17. THE POTABLE WATER MAIN EASEMENTS SHOWN ON THIS PLAT ARE DEDICATED TO THE CITY OF COCOA FOR THE OPERATION, MAINTENANCE, REPAIR AND CONSTRUCTION OF POTABLE WATER FACILITIES AND ASSOCIATED IMPROVEMENTS. TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS FOR PEDESTRIANS, VEHICLES AND EQUIPMENT IN CONNECTION THEREWITH (SEE SHEET 13 FOR EASEMENT DETAILS).
- 18. WHERE PUBLIC SIDEWALKS ARE LOCATED WITHIN LOTS OR TRACTS SHOWN HEREON. SUCH LOTS AND TRACTS SHALL BE SUBJECT TO A PUBLIC SIDEWALK EASEMENT HEREBY DEDICATED TO BREVARD COUNTY TO ACCOMMODATE SUCH SIDEWALK, TOGETHER WITH AN INGRESS/EGRESS EASEMENT TO BREVARD COUNTY OVER THE AREA BETWEEN THE PUBLIC STREET RIGHT-OF-WAY AND THE PUBLIC SIDEWALK EASEMENT FOR THE SOLE PURPOSE OF MAINTAINING AND REPAIRING THE PUBLIC SIDEWALKS WITHIN SAID PUBLIC SIDEWALK EASEMENTS. NOTWITHSTANDING THE FOREGOING, BREVARD COUNTY SHALL NOT BE RESPONSIBLE, OBLIGATED OR REQUIRED IN ANY MANNER TO CONSTRUCT SIDEWALKS IN WHOLE OR PART WITHIN THE LANDS PLATTED HEREUNDER. BREVARD COUNTY SHALL NOT BE RESPONSIBLE FOR THE REPAIR OR THE REPLACEMENT OF ANY IRRIGATION FACILITIES OR LANDSCAPING WITHIN THE AREA BETWEEN THE PUBLIC RIGHT-OF-WAY AND THE PUBLIC SIDEWALK EASEMENT THAT MAY BE DAMAGED AS A RESULT OF MAINTENANCE AND REPAIR OF SIDEWALKS WITHIN SAID PUBLIC SIDEWALK EASEMENTS



DESCRIPTION OF VILLAGE 2 NEIGHBORHOOD 2 - PHASE 2

A PARCEL OF LAND IN SECTIONS 22 AND 27, TOWNSHIP 26 SOUTH, RANGE 36 EAST, BREVARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS

BEGIN AT THE INTERSECTION OF THE SOUTH RIGHT-OF-WAY LINE OF RANA WAY, AN 80.00 FOOT PUBLIC RIGHT-OF-WAY AND THE EAST RIGHT-OF-WAY LINE OF RIGEL DRIVE, A 70 FOOT PUBLIC RIGHT-OF-WAY, ACCORDING TO THE PLAT OF VILLAGE 2 NEIGHBORHOOD 2 AS RECORDED IN PLAT BOOK 73, PAGE 70, PUBLIC RECORDS OF BREVARD COUNTY FLORIDA, AND RUN NORTHERLY ALONG SAID EAST RIGHT-OF-WAY LINE THE FOLLOWING FOUR (4) COURSES AND DISTANCES; 1) N11°42'22"E, A DISTANCE OF 111.23 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT; 2) THENCE ALONG THE ARC OF SAID CURVE, (SAID CURVE BEING CURVED CONCAVE TO THE SOUTHEAST AND HAVING A RADIUS OF 230.00 FEET, A CENTRAL ANGLE OF 21°51'58", A CHORD BEARING OF N22°38'21"E, AND A CHORD LENGTH OF 87.24 FEET), A DISTANCE OF 87.78 FEET TO A POINT OF REVERSE CURVATURE; 3) THENCE ALONG THE ARC OF SAID CURVE, (SAID CURVE BEING CURVED CONCAVE TO THE NORTHWEST AND HAVING A RADIUS OF 520.00 FEET, A CENTRAL ANGLE OF 36°44'28", A CHORD BEARING OF N15°12'06"E. AND A CHORD LENGTH OF 327.77 FEET). A DISTANCE OF 333.45 FEET TO A POINT OF REVERSE CURVATURE: 4) THENCE ALONG THE ARC OF SAID CURVE. (SAID CURVE BEING CURVED CONCAVE TO THE EAST AND HAVING A RADIUS OF 880.00 FEET, A CENTRAL ANGLE OF 7°54'37", A CHORD BEARING OF N00°47'10"E, AND A CHORD LENGTH OF 121.40 FEET), A DISTANCE OF 121.49 FEET TO AN INTERSECTION WITH A NON-TANGENT LINE TO THE EAST: THENCE S88°42'46"E, A DISTANCE OF 554.70 FEET; THENCE N01°17'14"E, A DISTANCE OF 280.61 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT; THENCE ALONG THE ARC OF SAID CURVE, (SAID CURVE BEING CURVED CONCAVE TO THE SOUTHEAST AND HAVING A RADIUS OF 100.00 FEET, A CENTRAL ANGLE OF 29°38'01", A CHORD BEARING OF N16°06'14"E, AND A CHORD LENGTH OF 51.15 FEET), A DISTANCE OF 51.72 FEET TO A POINT OF REVERSE CURVATURE; THENCE ALONG THE ARC OF SAID CURVE, (SAID CURVE BEING CURVED CONCAVE TO THE NORTHWEST AND HAVING A RADIUS OF 190.00 FEET, A CENTRAL ANGLE OF 33°15'02", A CHORD BEARING OF N14°17'44"E, AND A CHORD LENGTH OF 108.72 FEET), A DISTANCE OF 110.26 FEET TO A POINT OF REVERSE CURVATURE; THENCE ALONG THE ARC OF SAID CURVE, (SAID CURVE BEING CURVED CONCAVE TO THE EAST AND HAVING A RADIUS OF 485.00 FEET, A CENTRAL ANGLE OF 13°35'31", A CHORD BEARING OF N04°27'59"E, AND A CHORD LENGTH OF 114.78 FEET), A DISTANCE OF 115.05 FEET TO A POINT OF REVERSE CURVATURE; THENCE ALONG THE ARC OF SAID CURVE, (SAID CURVE BEING CURVED CONCAVE TO THE WEST AND HAVING A RADIUS OF 615.00 FEET, A CENTRAL ANGLE OF 29°07'53", A CHORD BEARING OF N03°18'12"W, AND A CHORD LENGTH OF 309.33 FEET), A DISTANCE OF 312.69 FEET TO THE END OF SAID CURVE; THENCE N17°52'09"W, A DISTANCE OF 95.54 FEET TO THE BEGINNING OF A CURVE TO THE LEFT; THENCE ALONG THE ARC OF SAID CURVE. 68.26 FEET TO A POINT OF REVERSE CURVATURE; THENCE ALONG THE ARC OF SAID CURVE, (SAID CURVE BEING CURVED CONCAVE TO THE NORTHEAST AND HAVING A RADIUS OF 100.00 FEET, A CENTRAL ANGLE OF 37°09'38", A CHORD BEARING OF N17°28'43"W, AND A CHORD LENGTH OF 63.73 FEET), A DISTANCE OF 64.86 FEET TO THE END OF SAID CURVE; THENCE N01°06'06"E, A DISTANCE OF 265.50 FEET; THENCE S88°41'09"W, A DISTANCE OF 322.92 FEET TO THE BEGINNING OF A CURVE TO THE LEFT; THENCE ALONG THE ARC OF SAID CURVE, (SAID CURVE BEING CURVED CONCAVE TO THE SOUTHEAST AND HAVING A RADIUS OF 467.50 FEET, A CENTRAL ANGLE OF 28°57'16", A CHORD BEARING OF S74°12'32"W, AND A CHORD LENGTH OF 233.75 FEET), A DISTANCE OF 236.25 FEET TO A POINT OF COMPOUND CURVATURE; THENCE ALONG THE ARC OF SAID CURVE. (SAID CURVE BEING CURVED CONCAVE TO THE EAST AND HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 95°19'24", A CHORD BEARING OF S12°04'12"W, AND A CHORD LENGTH OF 36.96 FEET), A DISTANCE OF 41.59 FEET TO THE END OF SAID CURVE AND A POINT ON THE EAST RIGHT-OF-WAY LINE OF SAID RIGEL DRIVE; THENCE N35°35'31"W ALONG SAID EAST RIGHT-OF-WAY LINE OF RIGEL DRIVE AND ITS NORTHWESTERLY EXTENSION, A DISTANCE OF 115.39 FEET TO THE BEGINNING OF A CURVE TO THE LEFT; THENCE ALONG THE ARC OF SAID CURVE, (SAID CURVE BEING CURVED CONCAVE TO THE NORTH AND HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 85°46'37", A CHORD BEARING OF S78°28'49"E, AND A CHORD LENGTH OF 34.03 FEET), A DISTANCE OF 37.43 FEET TO A POINT OF REVERSE CURVATURE; THENCE ALONG THE ARC OF SAID CURVE, (SAID CURVE BEING CURVED CONCAVE TO THE SOUTHEAST AND HAVING A RADIUS OF 532.50 FEET, A CENTRAL ANGLE OF 30°03'17", A CHORD BEARING OF N73°39'31"E, AND A CHORD LENGTH OF 276.13 FEET), A DISTANCE OF 279.33 FEET TO THE END OF SAID CURVE: THENCE N88°41'09"E, A DISTANCE OF 401.57 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT: THENCE ALONG THE ARC OF SAID CURVE, (SAID CURVE BEING CURVED CONCAVE TO THE SOUTH AND HAVING A RADIUS OF 357.50 FEET, A CENTRAL ANGLE OF 15°52'50", A CHORD BEARING OF S83°22'26"E, AND A CHORD LENGTH OF 98.77 FEET), A DISTANCE OF 99.09 FEET TO A POINT OF REVERSE CURVATURE; THENCE ALONG THE ARC OF SAID CURVE, (SAID CURVE BEING CURVED CONCAVE TO THE NORTH AND HAVING A RADIUS OF 125.00 FEET, A CENTRAL ANGLE OF 28°08'42", A CHORD BEARING OF S89°30'22"E, AND A CHORD LENGTH OF 60.79 FEET), A DISTANCE OF 61.40 FEET TO AN INTERSECTION WITH A NON-TANGENT LINE TO THE NORTHWEST; THENCE N13°34'42"W, ALONG SAID NON-TANGENT LINE, A DISTANCE OF 15.59 FEET; THENCE N43°00'47"W, A DISTANCE OF 340.04 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT; THENCE ALONG THE ARC OF SAID CURVE, (SAID CURVE BEING CURVED CONCAVE TO THE NORTHEAST AND HAVING A RADIUS OF 300.00 FEET, A CENTRAL ANGLE OF 51°04'22", A CHORD BEARING OF N17°28'36"W, AND A CHORD LENGTH OF 258.65 FEET), A DISTANCE OF 267.42 FEET TO AN INTERSECTION WITH A NON-TANGENT LINE TO THE NORTHEAST; THENCE N10°31'57"E ALONG SAID NON-TANGENT LINE, A DISTANCE OF 537.21 FEET; THENCE S88°43'51"E, A DISTANCE OF 284.25 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT; THENCE ALONG THE ARC OF SAID CURVE, (SAID CURVE BEING CURVED CONCAVE TO THE SOUTH AND HAVING A RADIUS OF 1000.00 FEET, A CENTRAL ANGLE OF 4°00'12", A CHORD BEARING OF S86°43'45"E, AND A CHORD LENGTH OF 69.86 FEET), A DISTANCE OF 69.87 FEET TO THE END OF SAID CURVE; THENCE S84°43'39"E, A DISTANCE OF 585.27 FEET TO THE BEGINNING OF A CURVE TO THE LEFT; THENCE ALONG THE ARC OF SAID CURVE, (SAID CURVE BEING CURVED CONCAVE TO THE NORTHWEST AND HAVING A RADIUS OF 150.00 FEET, A CENTRAL ANGLE OF 68°54'39", A CHORD BEARING OF N60°49'02"E, AND A CHORD LENGTH OF 169.73 FEET), A DISTANCE OF 180.41 FEET TO THE END OF SAID CURVE; THENCE N26°21'42"E, A DISTANCE OF 86.48 FEET; THENCE N75°29'01"E, A DISTANCE OF 603.80 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF INTERSTATE 95 (STATE ROAD 9) AS SHOWN ON THE FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY MAP, SECTION 70220, F.P. 405506 6; THENCE S14°30'59"E ALONG SAID WEST RIGHT-OF-WAY LINE OF INTERSTATE 95, A DISTANCE OF 63.29 FEET TO A POINT ON THE BOUNDARY OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 5782, PAGE 4499, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA; THENCE ALONG THE BOUNDARY OF SAID PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 5782, PAGE 4499, THE FOLLOWING NINE (9) COURSES AND DISTANCES; 1) S12°33'10"E, A DISTANCE OF 350.21 FEET; 2) THENCE S14°31'00"E, A DISTANCE OF 801.61 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT; 3) THENCE ALONG THE ARC OF SAID CURVE, (SAID CURVE BEING CURVED CONCAVE TO THE WEST AND HAVING A RADIUS OF 2197.83 FEET, A CENTRAL ANGLE OF 41°02'39", A CHORD BEARING OF S06°00'19"W AND A CHORD LENGTH OF 1540.98 FEET), A DISTANCE OF 1574.43 FEET TO THE END OF SAID CURVE; 4) THENCE S26°31'39"W, A DISTANCE OF 237.60 FEET TO THE BEGINNING OF A CURVE TO THE LEFT; 5) THENCE ALONG THE ARC OF SAID CURVE, (SAID CURVE BEING CURVED CONCAVE TO THE EAST AND HAVING A RADIUS OF 1239.92 FEET, A CENTRAL ANGLE OF 41°02'38", A CHORD BEARING OF S06°00'20"W AND A CHORD LENGTH OF 869.35 FEET), A DISTANCE OF 888.22 FEET TO THE END OF SAID CURVE; 6) THENCE S14°30'59"E, A DISTANCE OF 228.00 FEET; 7) THENCE S30°29'00"W, A DISTANCE OF 16.97 FEET; 8) THENCE S75°29'01"W, A DISTANCE OF 597.99 FEET; 9) THENCE S14°30'59"E, A DISTANCE OF 55.00 FEET TO THE NORTHEAST CORNER OF PINEDA CAUSEWAY, A 150.00 FOOT PUBLIC RIGHT-OF-WAY ACCORDING TO THE PLAT OF LAKE ANDREW DRIVE - SEGMENT E AND PINEDA BOULEVARD SEGMENT I PHASE 1 AS RECORDED IN PLAT BOOK 68, PAGE 43, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA; THENCE ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID PINEDA CAUSEWAY AND ALONG THE SAID EAST RIGHT-OF-WAY LINE OF SAID LAKE ANDREW DRIVE, THE FOLLOWING SIX (6) COURSES AND DISTANCES; 1) THENCE S75°29'01"W, A DISTANCE OF 608.34 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT; 2) THENCE ALONG THE ARC OF SAID CURVE, (SAID CURVE BEING CURVED CONCAVE TO THE NORTH AND HAVING A RADIUS OF 1605.00 FEET, A CENTRAL ANGLE OF 35°36'49", A CHORD BEARING OF N86°42'35"W, AND A CHORD LENGTH OF 981.64 FEET), A DISTANCE OF 997.63 FEET TO A POINT OF REVERSE CURVATURE; 3) THENCE ALONG THE ARC OF SAID CURVE, (SAID CURVE BEING CURVED CONCAVE TO THE SOUTHWEST AND HAVING A RADIUS OF 4325.00 FEET, A CENTRAL ANGLE OF 12°45'45", A CHORD BEARING OF N75°17'03"W, AND A CHORD LENGTH OF 961.38 FEET), A DISTANCE OF 963.38 FEET TO A POINT OF REVERSE CURVATURE; 4) THENCE ALONG THE ARC OF SAID CURVE, (SAID CURVE BEING CURVED CONCAVE TO THE NORTHEAST AND HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 96°56'53", A CHORD BEARING OF N33°11'29"W, AND A CHORD LENGTH OF 37.43 FEET), A DISTANCE OF 42.30 FEET TO THE END OF SAID CURVE; 5) THENCE N15°16'58"E, A DISTANCE OF 97.94 FEET TO THE BEGINNING OF A CURVE TO THE LEFT; 6) THENCE ALONG THE ARC OF SAID CURVE, (SAID CURVE BEING CURVED CONCAVE TO THE NORTHWEST AND HAVING A RADIUS OF 3335.00 FEET, A CENTRAL ANGLE OF 11°08'46", A CHORD BEARING OF N09°42'35"E, AND A CHORD LENGTH OF 647.76 FEET), A DISTANCE OF 648.78 FEET TO THE SOUTHWEST CORNER OF SAID RANA WAY AND A POINT OF REVERSE CURVATURE; THENCE ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID RANA WAY AND ALONG THE ARC OF SAID CURVE, (SAID CURVE BEING CURVED CONCAVE TO THE SOUTHEAST AND HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 85°51'48", A CHORD BEARING OF N47°04'06"E, AND A CHORD LENGTH OF 34.06 FEET), A DISTANCE OF 37.46 FEET TO THE END OF SAID CURVE; THENCE CONTINUE ALONG SAID SOUTH RIGHT-OF-WAY LINE, N90°00'00"E A DISTANCE OF 549.88 FEET TO THE POINT OF BEGINNING. CONTAINING 207.16 ACRES, MORE OR LESS.

STATE PLANE COORDINATE NOTES: THE COORDINATES SHOWN HEREON ARE BASED ON THE STATE PLANE COORDINATE SYSTEM FOR FLORIDA'S EAST ZONE NORTH AMERICAN DATUM OF 1983 AND READJUSTED IN 1999 (NAD83/99).

A GPS CONTROL SURVEY UTILIZING THREE ASHTECH PROMARK 2 GPS RECEIVERS WAS PERFORMED ON 12/04/04. THE NETWORK VECTOR DATA WAS ADJUSTED BY LEAST SQUARES METHOD UTILIZING ASHTEC SOLUTIONS VERSION 2.7 THE STATIONS SHOWN BELOW WERE HELD FIXED IN THE NETWORK ADJUSTMENT

								COMBINED	CONVERGENCE
DESIGNATION	PID	NORTHING	N METERS	EASTING	E METERS	N. LATITUDE	W. LONGITUDE	SCALE FACTOR	ANGLE
DURAN AZ MK 6	AK7519	1,426,329.224	434,746.017	738,933.411	225,227.354	28°15'26.19982"	080°44'34.43002"	0.99994903	(+)0°07' 18.2"
BREVARD GPS 1090	AK7524	1,422,840.468	433,682.642	740,680.093	225,759.744	28°14'51.61826"	080°44'14.98184"	0.99994936	(+)0°07' 27.3"
I 95 73A64	AK2846	1,416,452.318	431,735.530	746,854.0344	227,641.565	28°13'48.22765"	080°43'06.11244"	0.99995250	(+)0°07' 59.6"

THE COORDINATE VALUES SHOWN ON THE PLAT BOUNDARY AND THE SURROUNDING SECTION CORNERS WERE COMPUTED USING AUTODESK LAND DEVELOPMENT DESKTOP. A PROJECT SCALE FACTOR OF 0.99995030 WAS USED TO CONVERT GROUND DISTANCE TO GRID DISTANCE. THE DISTANCES SHOWN ON THIS PLAT ARE GROUND DISTANCES. THE PROJECT SCALE FACTOR CAN BE APPLIED TO CONVERT THE GROUND DISTANCE TO GRID DISTANCE. ALL OF THE VALUES SHOWN ARE EXPRESSED IN U.S. SURVEY FEET.

NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

B.S.E. CONSULTANTS, INC. CONSULTING - ENGINEERING - LAND SURVEYING

DATE: 3/10/25 DESIGN/DRAWN: HAK/DHF DRAWING# 11583 301 001 PROJECT# 11583

SEE SHEET 2 FOR TRACT

AREA SUMMARY TABLE

- THIS PLAT PREPARED BY

PLAT BOOK , PAGE

SECTIONS 22 AND 27, TOWNSHIP 26 SOUTH, RANGE 36 EAST

DEDICATION KNOW ALL MEN BY THESE PRESENTS, The Viera Company, being the owner in fee simple of the lands described in

VILLAGE 2 NEIGHBORHOOD 2 - PHASE 2

Hereby dedicates said lands and plat for the uses and purposes therein expressed and hereby dedicates to Brevard County the public utility easements and the rights-of-way for Merope Drive, Rana Way, and Akarad Drive, the sanitary sewer easements, the reuse main easements, the public sidewalk easements and public utility easements as shown hereon, for public use. No other easements are hereby dedicated or granted to the public, it being the intention of the undersigned that all other easements and tracts shown hereon be owned and maintained privately or by the Viera Stewardship District as described hereon and that the public and Brevard County have no right or interest therein.

President:	Toda J. Po	okrywa			

THE VIERA COMPANY 7380 MURRELL ROAD, SUITE 201 MELBOURNE, FLORIDA 32940

Secretary: Mark J. Boyd

STATE OF FLORIDA COUNTY OF BREVARD

The foregoing instrument was acknowledged before me by means of _____ physical presence or online notarization, this by Todd J. Pokrywa and Mark J. Boyd, respectively President and Secretary of the above named corporation incorporated under the laws of State of Florida, on behalf of the company, who are personally known to me or have produced

IN WITNESS WHEREOF, I have hereunto set my hand and seal on

NOTARY PUBLIC

CERTIFICATE OF SURVEYOR

KNOW ALL MEN BY THESE PRESENTS, That the undersigned, being a licensed professional surveyor and mapper, does hereby certify that on 10/02/2023 he completed the boundary survey of the lands shown on the foregoing plat; and that said plat was prepared under his direction and supervision and that said plat complies with all of the survey requirements of Chapter 177, part 1, Florida Statutes, and County Ordinance 62-2841 (c)(d) as amended, and that said lands are located in Brevard County, Florida.

Registration Number 5611 LESLIE E. HOWARD B.S.E. Consultants, Inc. 312 South Harbor City Boulevard, Suite #4 Melbourne, Fla. 32901 Certificate of Authorization Number: LB-0004905

CERTIFICATE OF COUNTY SURVEYOR

I HEREBY CERTIFY, That I have reviewed the foregoing plat and find that it is in conformity with Chapter 177, part 1, Florida Statutes and County Ordinance 62-2841(c)(d) as amended.

Michael J. Sweeney, Professional Surveyor & Mapper No. 4870

CERTIFICATE OF ACCEPTANCE OF DEDICATION BY BOARD OF COUNTY COMMISSIONERS

THIS IS TO CERTIFY, That the Board of County Commissioners hereby accepts the road rights-of-way for Merope Drive, Rana Way, Akarad Drive, the sanitary sewer easements, the reuse main easements, the public sidewalk easements and public utility easements dedicated for the public use on this plat.

Rob Feltner, Chairman	

Clerk of the Board

CERTIFICATE OF APPROVAL BY BOARD OF COUNTY COMMISSIONERS

THIS IS TO CERTIFY, That on , the foregoing plat was approved by the Board of County Commissioners of Brevard County, Florida.

Rob Feltner, Chairman

ATTEST:

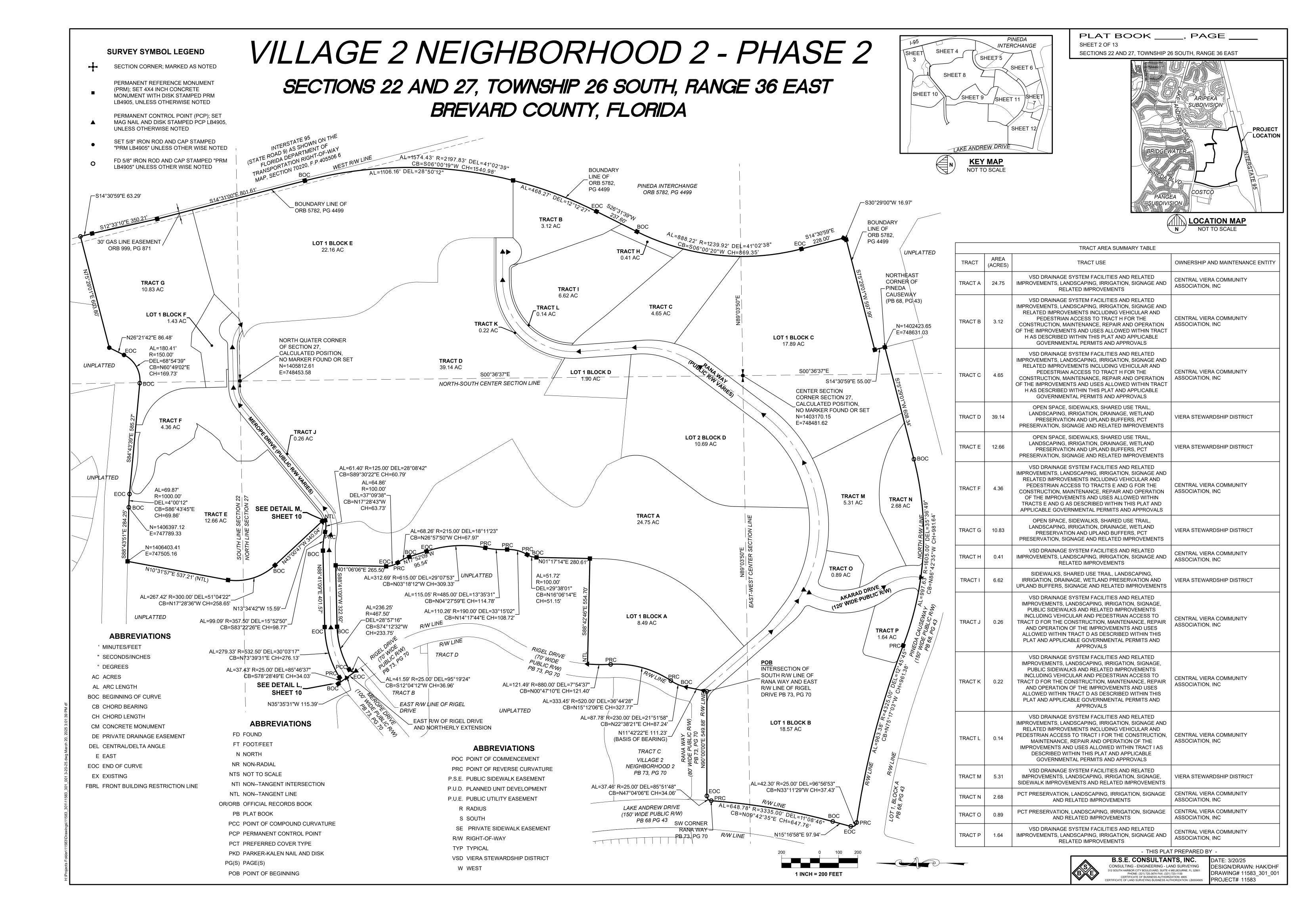
Clerk of the Board

CERTIFICATE OF CLERK

I HEREBY CERTIFY, That I have examined the foregoing plat and find that it complies in form with all the requirements of Chapter 177, part 1 Florida Statutes, and was filed

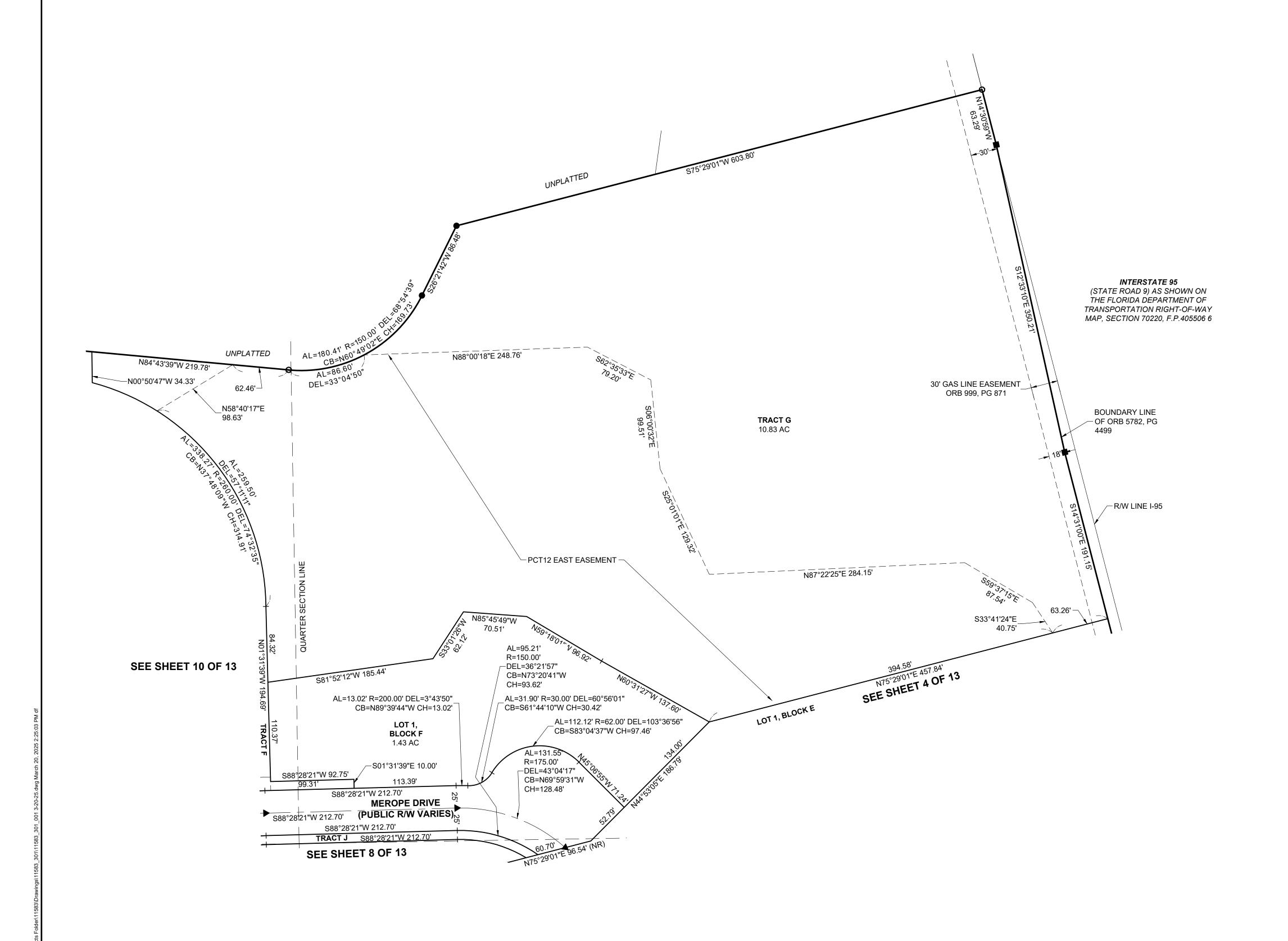
Clerk of the Circuit Court in and for Brevard County, Fla.

ATTEST:



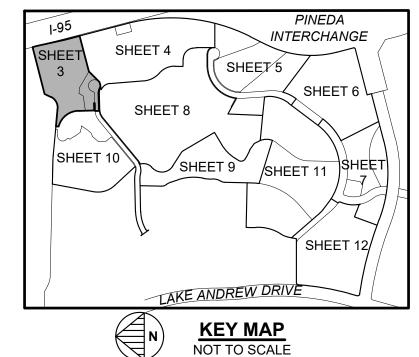
VILLAGE 2 NEIGHBORHOOD 2 - PHASE 2

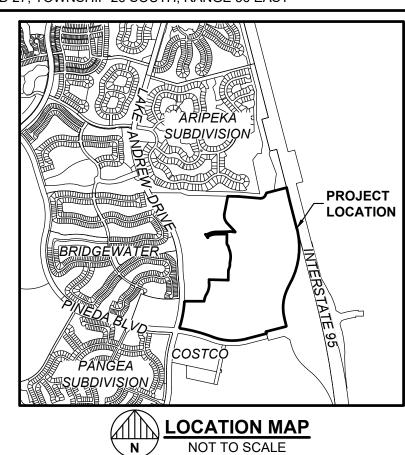
SECTIONS 22 AND 27, TOWNSHIP 26 SOUTH, RANGE 36 EAST BREVARD COUNTY, FLORIDA



PLAT BOOK _____, PAGE ____ SHEET 3 OF 13

SECTIONS 22 AND 27, TOWNSHIP 26 SOUTH, RANGE 36 EAST





SURVEY SYMBOL LEGEND

SECTION CORNER; MARKED AS NOTED

PERMANENT REFERENCE MONUMENT (PRM); SET 4X4 INCH CONCRETE MONUMENT WITH DISK STAMPED PRM LB4905, UNLESS OTHERWISE NOTED

PERMANENT CONTROL POINT (PCP); SET

MAG NAIL AND DISK STAMPED PCP LB4905,
UNLESS OTHERWISE NOTED

SET 5/8" IRON ROD AND CAP STAMPED
"PRM LB4905" UNLESS OTHER WISE NOTED

FD 5/8" IRON ROD AND CAP STAMPED "PRM LB4905" UNLESS OTHER WISE NOTED

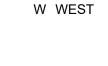
ABBREVIATIONS

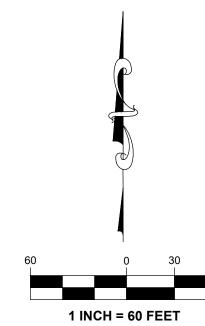
- ' MINUTES/FEET
- " SECONDS/INCHES
- ° DEGREES AC ACRES
- AL ARC LENGTH
 BOC BEGINNING OF CURVE
- CB CHORD BEARING
- CH CHORD LENGTH
- CM CONCRETE MONUMENT
- DE PRIVATE DRAINAGE EASEMENT
 DEL CENTRAL/DELTA ANGLE
- E EAST
- EOC END OF CURVE
 EX EXISTING
- FBRL FRONT BUILDING RESTRICTION LINE
- FD FOUND
- FT FOOT/FEET
- N NORTH
- NR NON-RADIAL
- NTS NOT TO SCALE

 NTI NON--TANGENT INTERSECTION

ABBREVIATIONS

- NTL NON--TANGENT LINE
- OR/ORB OFFICIAL RECORDS BOOK
- PB PLAT BOOK
- PCC POINT OF COMPOUND CURVATURE
 PCP PERMANENT CONTROL POINT
- PCT PREFERRED COVER TYPE
- PKD PARKER-KALEN NAIL AND DISK PG(S) PAGE(S)
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PRC POINT OF REVERSE CURVATURE
- P.S.E. PUBLIC SIDEWALK EASEMENT
- P.U.D. PLANNED UNIT DEVELOPMENT
- P.U.E. PUBLIC UTILITY EASEMENT R RADIUS
- R/W RIGHT-OF-WAY
- S SOUTH
- SE PRIVATE SIDEWALK EASEMENT
 TYP TYPICAL
- VSD VIERA STEWARDSHIP DISTRICT



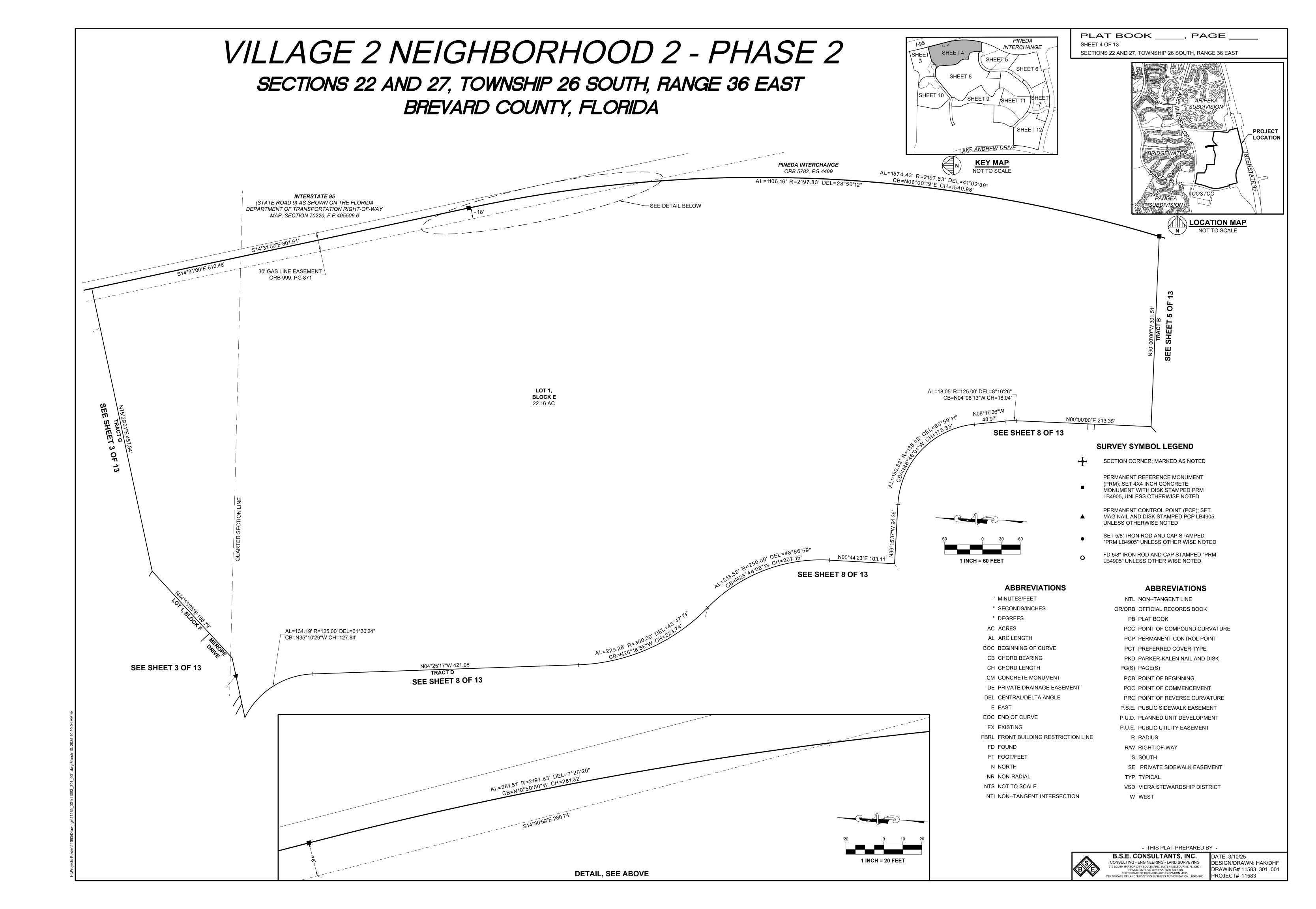


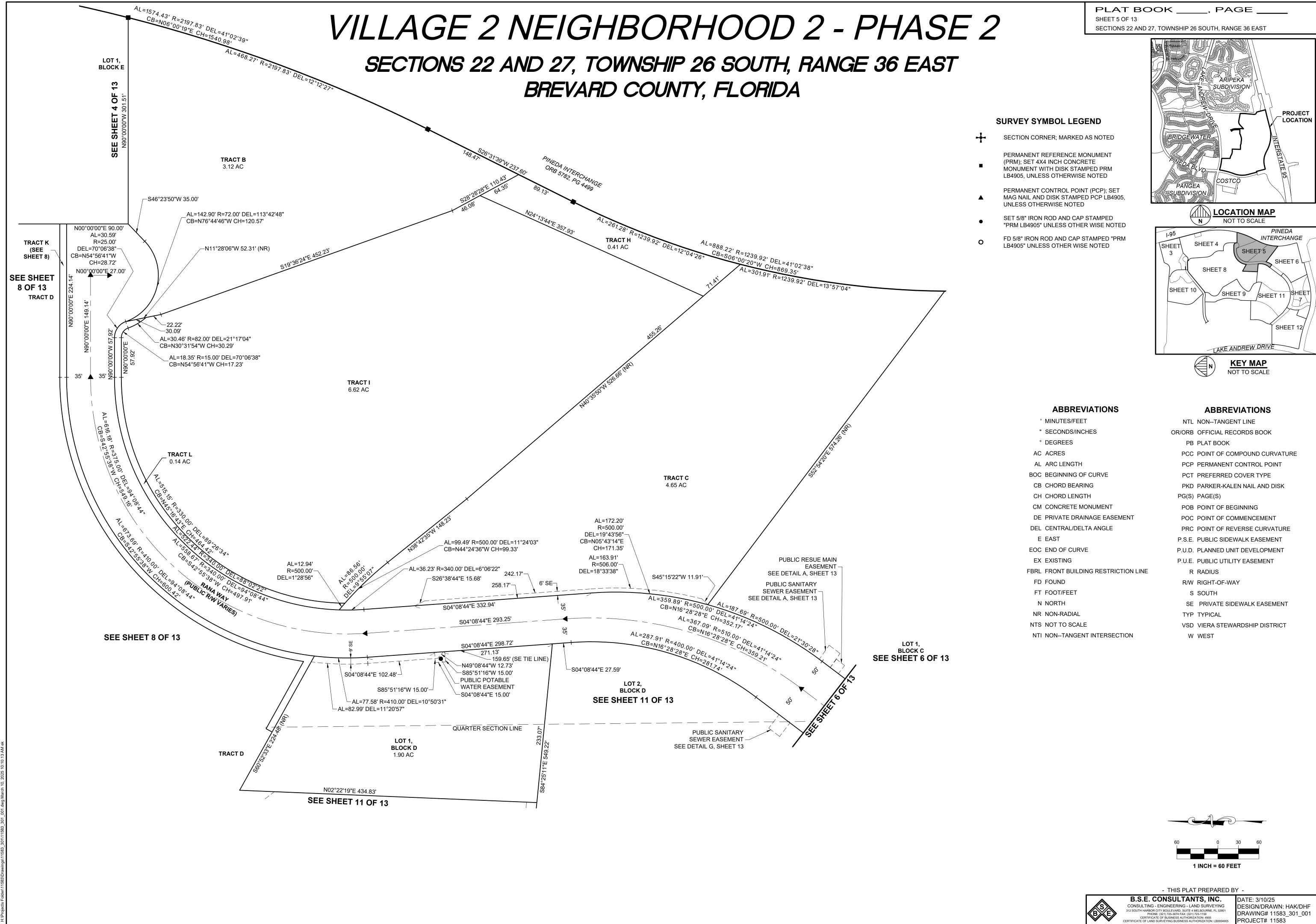
- THIS PLAT PREPARED BY

B.S.E. CONSULTANTS, INC.

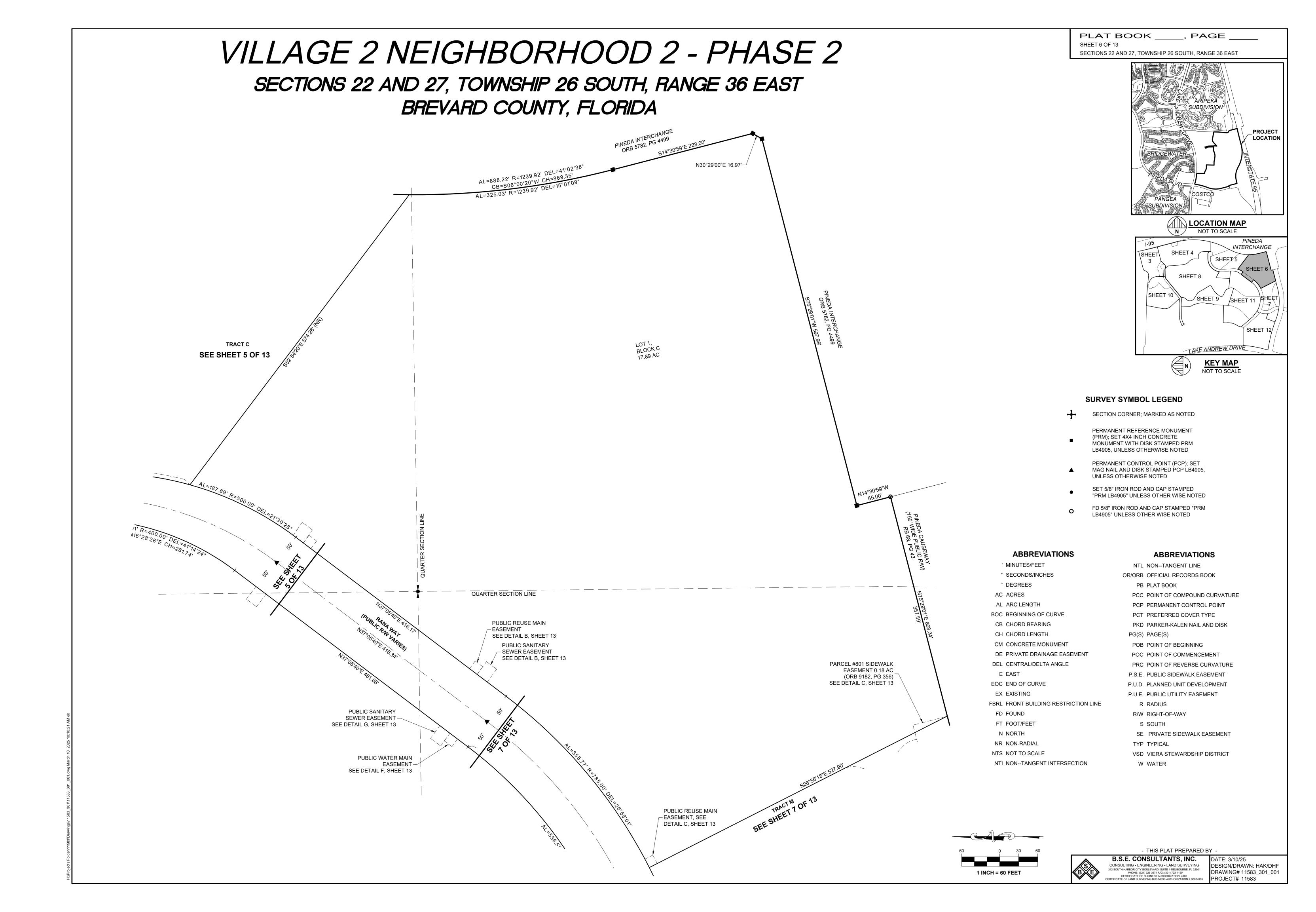
CONSULTING - ENGINEERING - LAND SURVEYING
312 SOUTH HARBOR CITY BOULEVARD, SUITE 4 MELBOURNE, FL 32901
PHONE: (321) 725-3674 FAX: (321) 723-1159
CERTIFICATE OF BUSINESS AUTHORIZATION: 4905
CERTIFICATE OF BUSINESS AUTHORIZATION: LB0004905

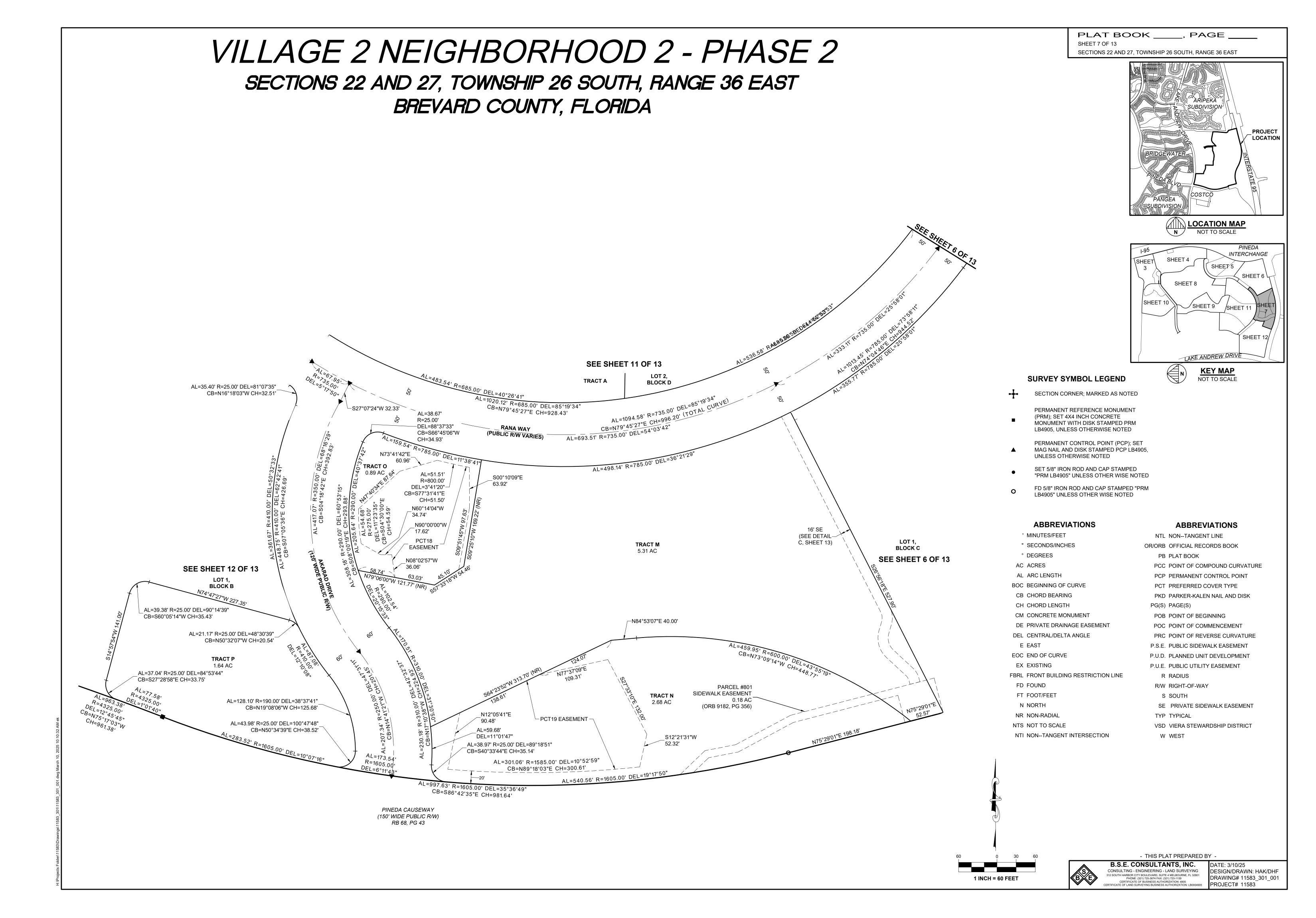
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DESIGN/DRAWN: HAK/DHF
DRAWING# 11583_301_001
PROJECT# 11583





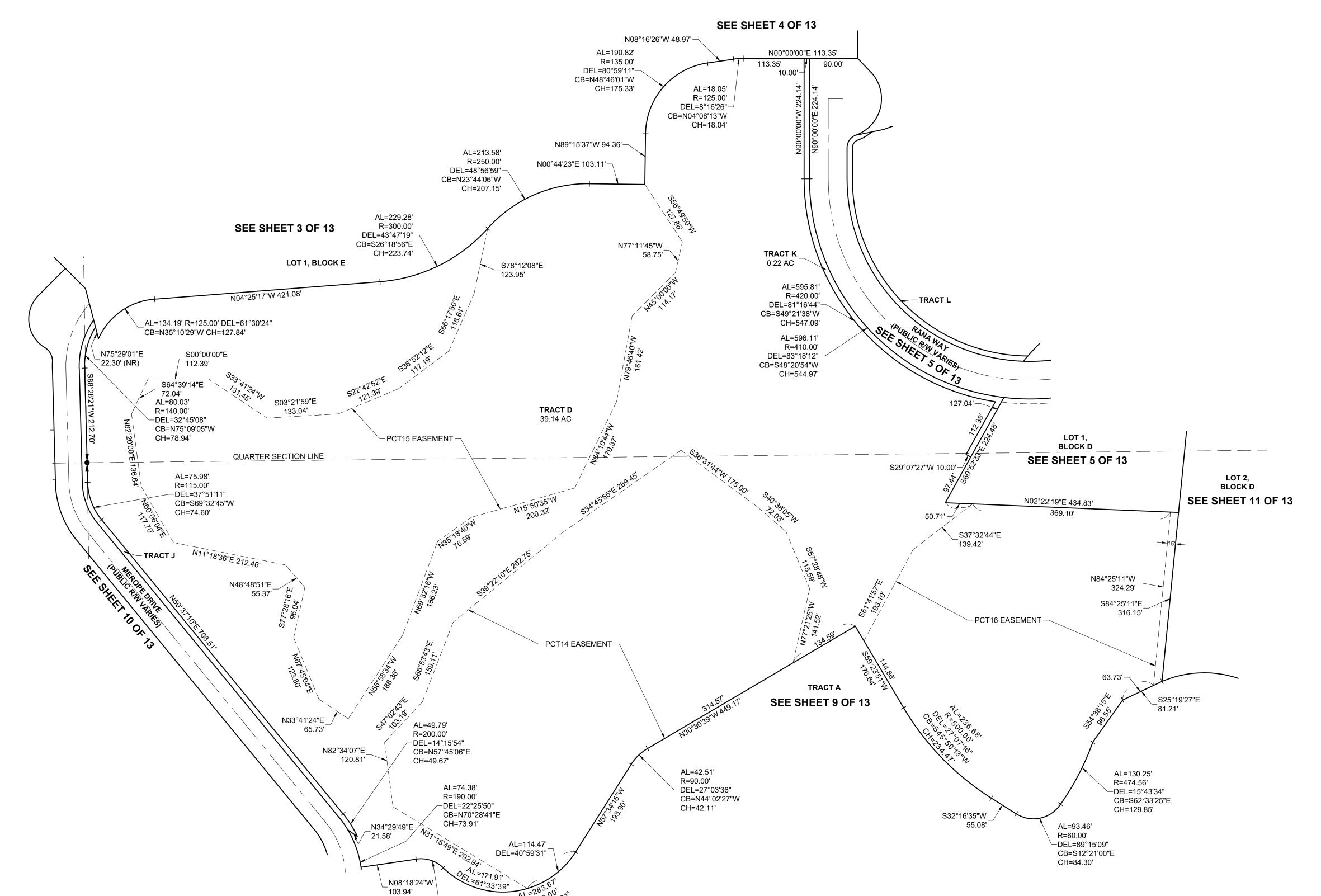
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VILLAGE 2 NEIGHBORHOOD 2 - PHASE 2

SECTIONS 22 AND 27, TOWNSHIP 26 SOUTH, RANGE 36 EAST BREVARD COUNTY, FLORIDA

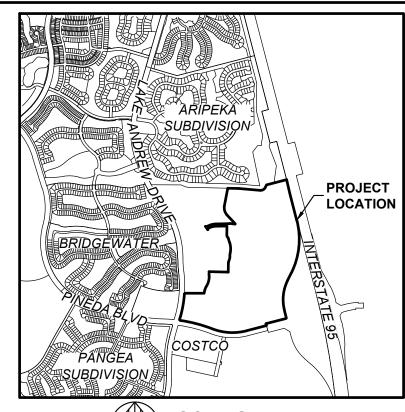


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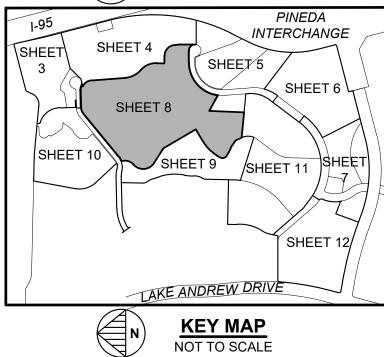
CH=52.91'

PLAT BOOK , PAGE

SECTIONS 22 AND 27, TOWNSHIP 26 SOUTH, RANGE 36 EAST



LOCATION MAP NOT TO SCALE



SURVEY SYMBOL LEGEND

- SECTION CORNER; MARKED AS NOTED
- (PRM); SET 4X4 INCH CONCRETE MONUMENT WITH DISK STAMPED PRM
- MAG NAIL AND DISK STAMPED PCP LB4905.

LB4905, UNLESS OTHERWISE NOTED

- SET 5/8" IRON ROD AND CAP STAMPED "PRM LB4905" UNLESS OTHER WISE NOTED
 - FD 5/8" IRON ROD AND CAP STAMPED "PRM LB4905" UNLESS OTHER WISE NOTED

ABBREVIATIONS

- ' MINUTES/FEET
- " SECONDS/INCHES ° DEGREES
- AC ACRES
- AL ARC LENGTH
- BOC BEGINNING OF CURVE
- CB CHORD BEARING
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- CM CONCRETE MONUMENT DE PRIVATE DRAINAGE EASEMENT
- DEL CENTRAL/DELTA ANGLE
- E EAST EOC END OF CURVE
- EX EXISTING
- FBRL FRONT BUILDING RESTRICTION LINE FD FOUND
- FT FOOT/FEET
- N NORTH
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ABBREVIATIONS

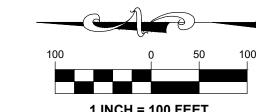
NTL NON--TANGENT LINE

OR/ORB OFFICIAL RECORDS BOOK

- PB PLAT BOOK
- PCC POINT OF COMPOUND CURVATURE
- PCP PERMANENT CONTROL POINT
- PCT PREFERRED COVER TYPE
- PKD PARKER-KALEN NAIL AND DISK PG(S) PAGE(S)

POB POINT OF BEGINNING

- POC POINT OF COMMENCEMENT
- PRC POINT OF REVERSE CURVATURE
- P.S.E. PUBLIC SIDEWALK EASEMENT P.U.D. PLANNED UNIT DEVELOPMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- R RADIUS
- R/W RIGHT-OF-WAY S SOUTH
- SE PRIVATE SIDEWALK EASEMENT
- TYP TYPICAL
- VSD VIERA STEWARDSHIP DISTRICT W WEST



B.S.E. CONSULTANTS, INC. CONSULTING - ENGINEERING - LAND SURVEYING 312 SOUTH HARBOR CITY BOULEVARD, SUITE 4 MELBOURNE, FL 32901 PHONE: (321) 725-3674 FAX: (321) 723-3159 CERTIFICATE OF BUSINESS AUTHORIZATION: 4905 CERTIFICATE OF LAND SURVEYING BUSINESS AUTHORIZATION: LB0004908

- THIS PLAT PREPARED BY DESIGN/DRAWN: HAK/DHF DRAWING# 11583_301_001 PROJECT# 11583

VILLAGE 2 NEIGHBORHOOD 2 - PHASE 2

PLAT BOOK , PAGE _ SHEET 9 OF 13

SECTIONS 22 AND 27, TOWNSHIP 26 SOUTH, RANGE 36 EAST



ABBREVIATIONS

- ' MINUTES/FEET
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- AL ARC LENGTH

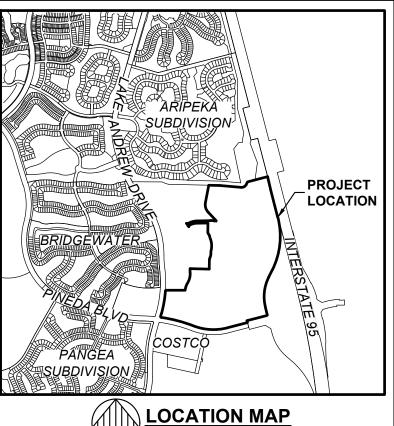
" SECONDS/INCHES

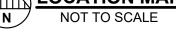
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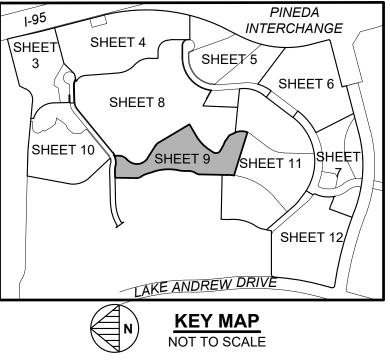
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VSD VIERA STEWARDSHIP DISTRICT



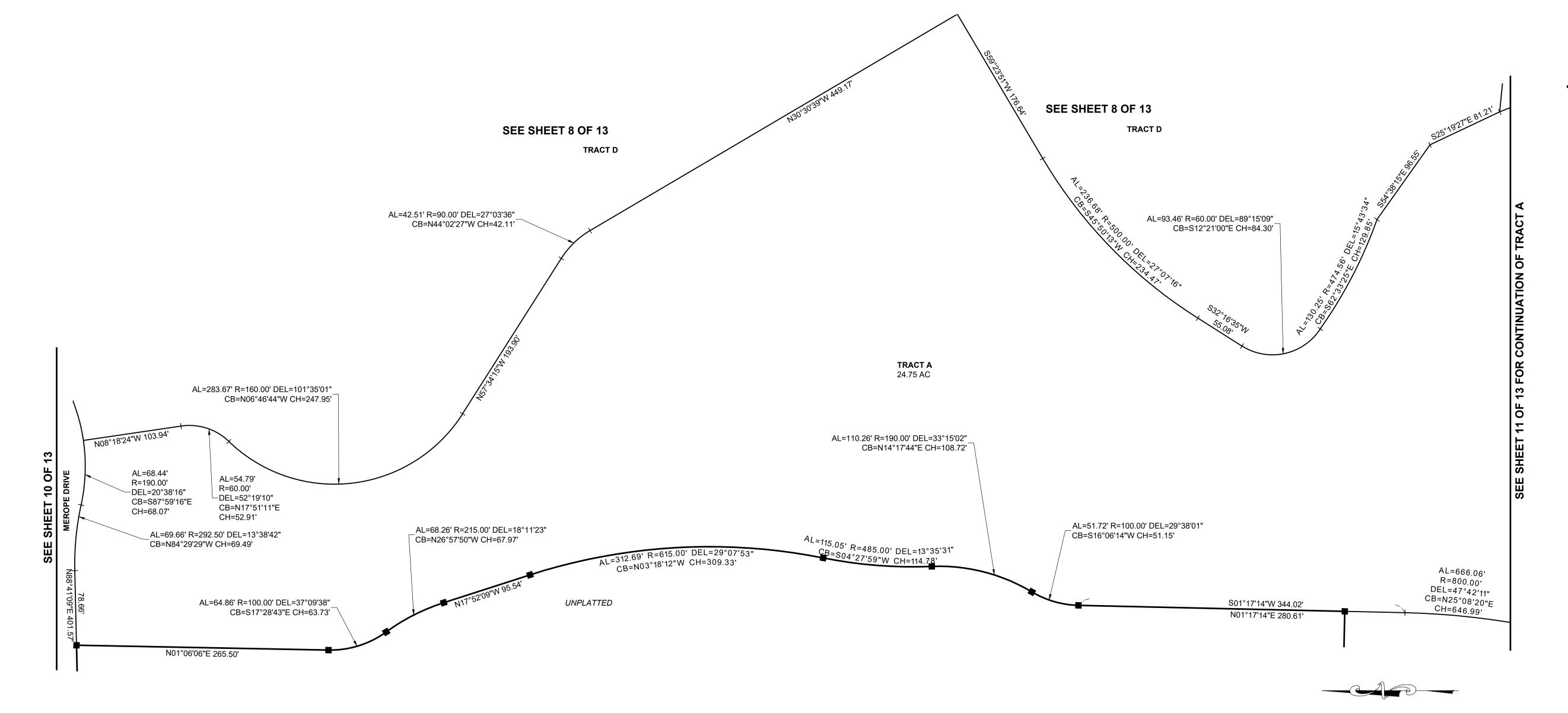


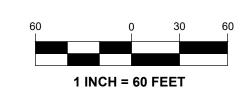


SURVEY SYMBOL LEGEND

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UNLESS OTHERWISE NOTED





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- THIS PLAT PREPARED BY DESIGN/DRAWN: HAK/DHF DRAWING# 11583 301 001 PROJECT# 11583

