

VILLAGE 2 NEIGHBORHOOD 2 - PHASE 2

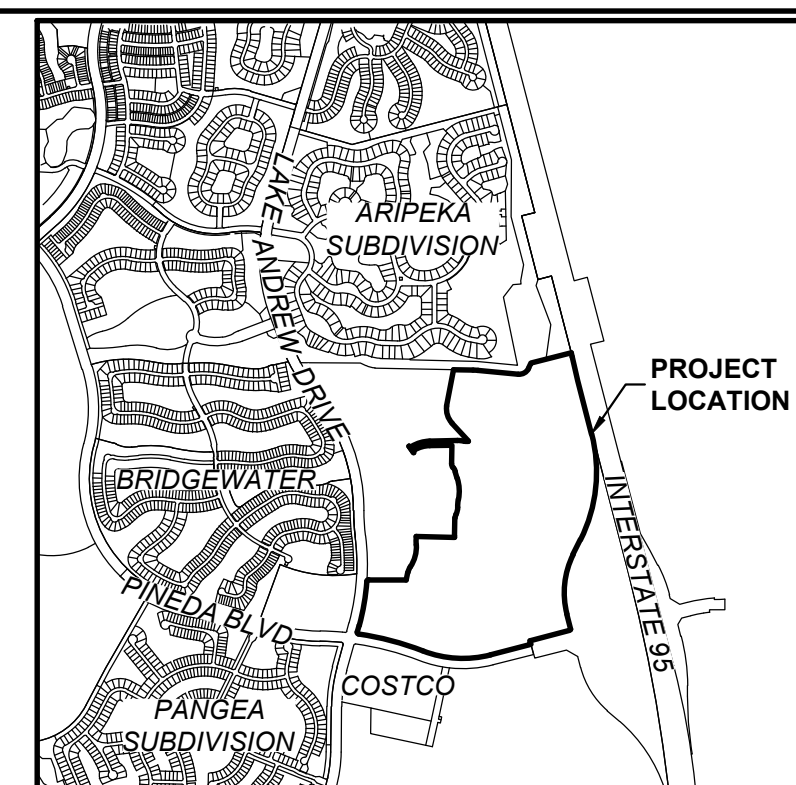
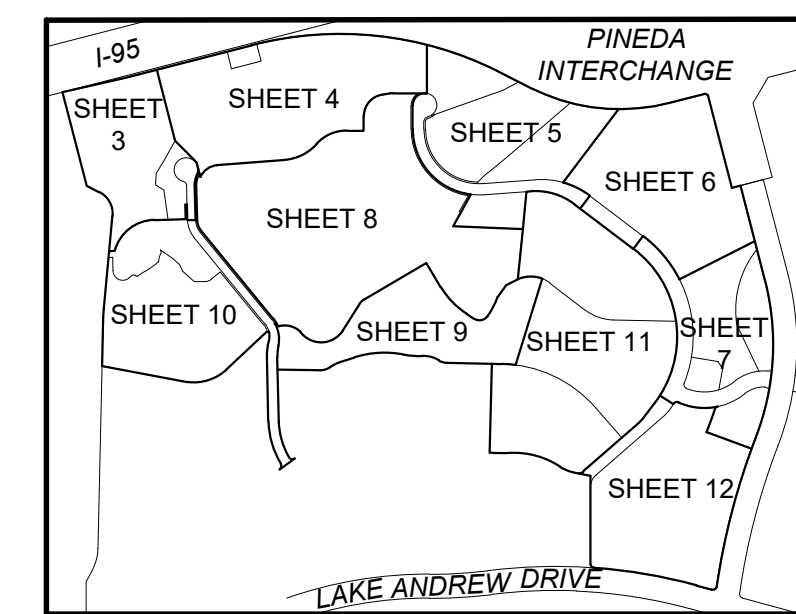
SECTIONS 22 AND 27, TOWNSHIP 26 SOUTH, RANGE 36 EAST

BREVARD COUNTY, FLORIDA

SURVEY SYMBOL LEGEND

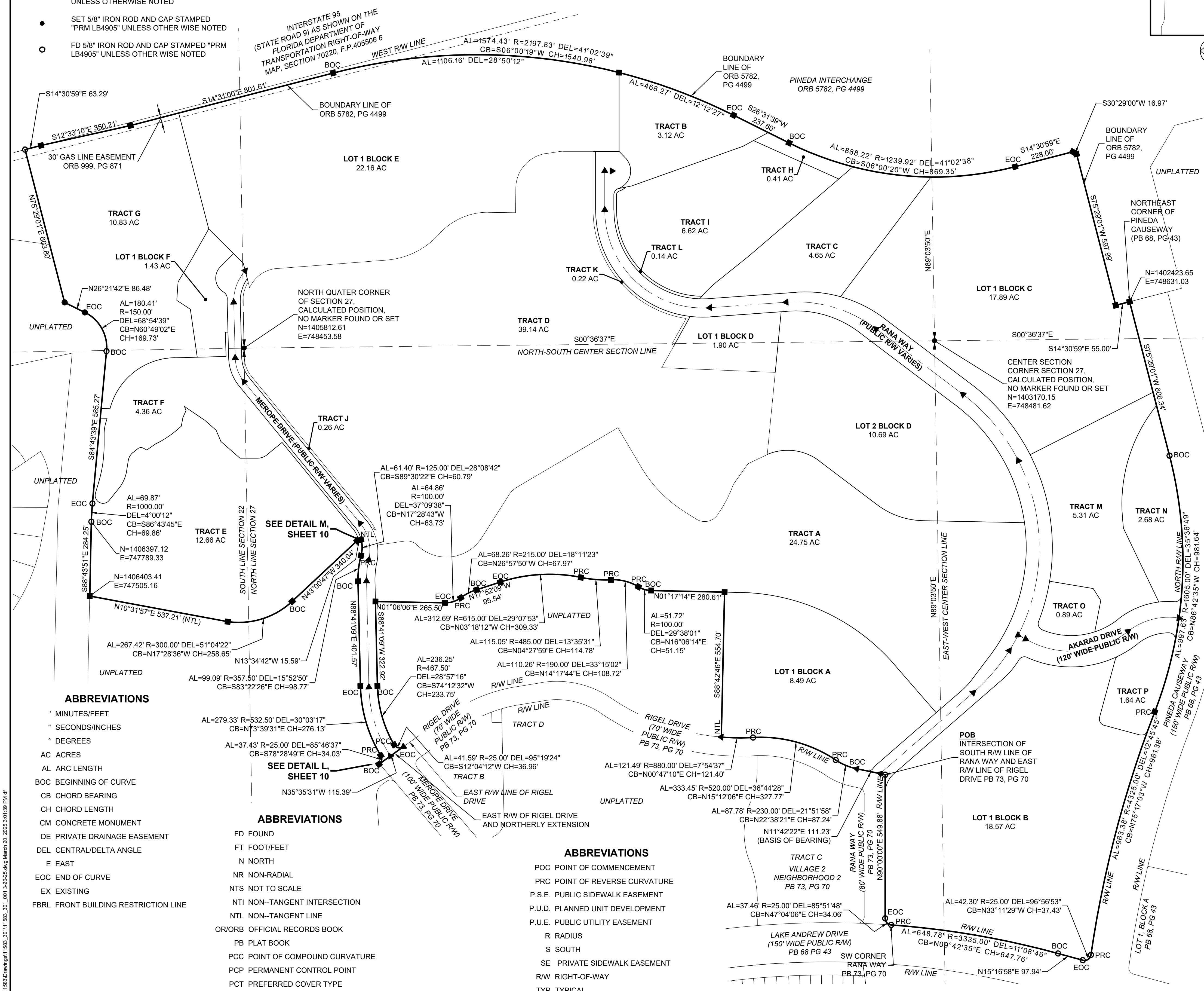
- ⊕ SECTION CORNER, MARKED AS NOTED
- PERMANENT REFERENCE MONUMENT (PRM); SET 4X4 INCH CONCRETE MONUMENT WITH DISK STAMPED PRM LB4905, UNLESS OTHERWISE NOTED
- ▲ PERMANENT CONTROL POINT (PCP); SET MAG NAIL AND DISK STAMPED PCP LB4905, UNLESS OTHERWISE NOTED
- SET 5/8" IRON ROD AND CAP STAMPED "PRM LB4905" UNLESS OTHERWISE NOTED
- FD 5/8" IRON ROD AND CAP STAMPED "PRM LB4905" UNLESS OTHERWISE NOTED

PLAT BOOK _____, PAGE _____
SHEET 2 OF 13
SECTIONS 22 AND 27, TOWNSHIP 26 SOUTH, RANGE 36 EAST



KEY MAP
NOT TO SCALE

LOCATION MAP
NOT TO SCALE



TRACT AREA SUMMARY TABLE			
TRACT	AREA (ACRES)	TRACT USE	OWNERSHIP AND MAINTENANCE ENTITY
TRACT A	24.75	VSD DRAINAGE SYSTEM FACILITIES AND RELATED IMPROVEMENTS, LANDSCAPING, IRRIGATION, SIGNAGE AND RELATED IMPROVEMENTS	CENTRAL VIERA COMMUNITY ASSOCIATION, INC
TRACT B	3.12	VSD DRAINAGE SYSTEM FACILITIES AND RELATED IMPROVEMENTS, LANDSCAPING, IRRIGATION, SIGNAGE AND RELATED IMPROVEMENTS INCLUDING VEHICULAR AND PEDESTRIAN ACCESS TO TRACT H FOR THE CONSTRUCTION, MAINTENANCE, REPAIR AND OPERATION OF THE IMPROVEMENTS AND USES ALLOWED WITHIN TRACT H AS DESCRIBED WITHIN THIS PLAT AND APPLICABLE GOVERNMENTAL PERMITS AND APPROVALS	CENTRAL VIERA COMMUNITY ASSOCIATION, INC
TRACT C	4.65	VSD DRAINAGE SYSTEM FACILITIES AND RELATED IMPROVEMENTS, LANDSCAPING, IRRIGATION, SIGNAGE AND RELATED IMPROVEMENTS INCLUDING VEHICULAR AND PEDESTRIAN ACCESS TO TRACT H FOR THE CONSTRUCTION, MAINTENANCE, REPAIR AND OPERATION OF THE IMPROVEMENTS AND USES ALLOWED WITHIN TRACT H AS DESCRIBED WITHIN THIS PLAT AND APPLICABLE GOVERNMENTAL PERMITS AND APPROVALS	CENTRAL VIERA COMMUNITY ASSOCIATION, INC
TRACT D	39.14	OPEN SPACE, SIDEWALKS, SHARED USE TRAIL, LANDSCAPING, IRRIGATION, DRAINAGE, WETLAND PRESERVATION AND UPLAND BUFFERS, PCT PRESERVATION, SIGNAGE AND RELATED IMPROVEMENTS	VIERA STEWARDSHIP DISTRICT
TRACT E	12.66	OPEN SPACE, SIDEWALKS, SHARED USE TRAIL, LANDSCAPING, IRRIGATION, DRAINAGE, WETLAND PRESERVATION AND UPLAND BUFFERS, PCT PRESERVATION, SIGNAGE AND RELATED IMPROVEMENTS	VIERA STEWARDSHIP DISTRICT
TRACT F	4.36	VSD DRAINAGE SYSTEM FACILITIES AND RELATED IMPROVEMENTS, LANDSCAPING, IRRIGATION, SIGNAGE AND RELATED IMPROVEMENTS INCLUDING VEHICULAR AND PEDESTRIAN ACCESS TO TRACTS E AND G FOR THE CONSTRUCTION, MAINTENANCE, REPAIR AND OPERATION OF THE IMPROVEMENTS AND USES ALLOWED WITHIN TRACTS E AND G AS DESCRIBED WITHIN THIS PLAT AND APPLICABLE GOVERNMENTAL PERMITS AND APPROVALS	CENTRAL VIERA COMMUNITY ASSOCIATION, INC
TRACT G	10.83	OPEN SPACE, SIDEWALKS, SHARED USE TRAIL, LANDSCAPING, IRRIGATION, DRAINAGE, WETLAND PRESERVATION AND UPLAND BUFFERS, PCT PRESERVATION, SIGNAGE AND RELATED IMPROVEMENTS	VIERA STEWARDSHIP DISTRICT
TRACT H	0.41	VSD DRAINAGE SYSTEM FACILITIES AND RELATED IMPROVEMENTS, LANDSCAPING, IRRIGATION, SIGNAGE AND RELATED IMPROVEMENTS	CENTRAL VIERA COMMUNITY ASSOCIATION, INC
TRACT I	6.62	SIDEWALKS, SHARED USE TRAIL, LANDSCAPING, IRRIGATION, DRAINAGE, WETLAND PRESERVATION AND UPLAND BUFFERS, SIGNAGE AND RELATED IMPROVEMENTS	VIERA STEWARDSHIP DISTRICT
TRACT J	0.26	VSD DRAINAGE SYSTEM FACILITIES AND RELATED IMPROVEMENTS, LANDSCAPING, IRRIGATION, SIGNAGE, PUBLIC SIDEWALKS AND RELATED IMPROVEMENTS INCLUDING VEHICULAR AND PEDESTRIAN ACCESS TO TRACT D FOR THE CONSTRUCTION, MAINTENANCE, REPAIR AND OPERATION OF THE IMPROVEMENTS AND USES ALLOWED WITHIN TRACT D AS DESCRIBED WITHIN THIS PLAT AND APPLICABLE GOVERNMENTAL PERMITS AND APPROVALS	CENTRAL VIERA COMMUNITY ASSOCIATION, INC
TRACT K	0.22	VSD DRAINAGE SYSTEM FACILITIES AND RELATED IMPROVEMENTS, LANDSCAPING, IRRIGATION, SIGNAGE, PUBLIC SIDEWALKS AND RELATED IMPROVEMENTS INCLUDING VEHICULAR AND PEDESTRIAN ACCESS TO TRACT D FOR THE CONSTRUCTION, MAINTENANCE, REPAIR AND OPERATION OF THE IMPROVEMENTS AND USES ALLOWED WITHIN TRACT D AS DESCRIBED WITHIN THIS PLAT AND APPLICABLE GOVERNMENTAL PERMITS AND APPROVALS	CENTRAL VIERA COMMUNITY ASSOCIATION, INC
TRACT L	0.14	VSD DRAINAGE SYSTEM FACILITIES AND RELATED IMPROVEMENTS, LANDSCAPING, IRRIGATION, SIGNAGE AND RELATED IMPROVEMENTS INCLUDING VEHICULAR AND PEDESTRIAN ACCESS TO TRACT I FOR THE CONSTRUCTION, MAINTENANCE, REPAIR AND OPERATION OF THE IMPROVEMENTS AND USES ALLOWED WITHIN TRACT I AS DESCRIBED WITHIN THIS PLAT AND APPLICABLE GOVERNMENTAL PERMITS AND APPROVALS	CENTRAL VIERA COMMUNITY ASSOCIATION, INC
TRACT M	5.31	VSD DRAINAGE SYSTEM FACILITIES AND RELATED IMPROVEMENTS, LANDSCAPING, IRRIGATION, SIGNAGE, SIDEWALK IMPROVEMENTS AND RELATED IMPROVEMENTS	VIERA STEWARDSHIP DISTRICT
TRACT N	2.68	PCT PRESERVATION, LANDSCAPING, IRRIGATION, SIGNAGE AND RELATED IMPROVEMENTS	CENTRAL VIERA COMMUNITY ASSOCIATION, INC
TRACT O	0.89	PCT PRESERVATION, LANDSCAPING, IRRIGATION, SIGNAGE AND RELATED IMPROVEMENTS	CENTRAL VIERA COMMUNITY ASSOCIATION, INC
TRACT P	1.64	VSD DRAINAGE SYSTEM FACILITIES AND RELATED IMPROVEMENTS, LANDSCAPING, IRRIGATION, SIGNAGE AND RELATED IMPROVEMENTS	CENTRAL VIERA COMMUNITY ASSOCIATION, INC

ABBREVIATIONS

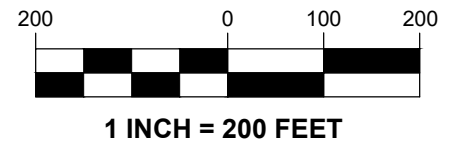
- * MINUTES/FEET
- ** SECONDS/INCHES
- * DEGREES
- AC ACRES
- AL ARC LENGTH
- BOC BEGINNING OF CURVE
- CB CHORD BEARING
- CH CHORD LENGTH
- CM CONCRETE MONUMENT
- DE PRIVATE DRAINAGE EASEMENT
- DEL CENTRAL/Delta ANGLE
- E EAST
- EOC END OF CURVE
- EX EXISTING
- FBRL FRONT BUILDING RESTRICTION LINE

ABBREVIATIONS

- FD FOUND
- FT FOOT/FEET
- N NORTH
- NR NON-RADIAL
- NTS NOT TO SCALE
- NTI NON-TANGENT INTERSECTION
- NTL NON-TANGENT LINE
- OR/ORB OFFICIAL RECORDS BOOK
- PB PLAT BOOK
- PCC POINT OF COMPOUND CURVATURE
- PCP PERMANENT CONTROL POINT
- PCT PREFERRED COVER TYPE
- PKD PARKER-KALEN NAIL AND DISK
- PG(S) PAGE(S)
- POB POINT OF BEGINNING

ABBREVIATIONS

- POC POINT OF COMMENCEMENT
- PRC POINT OF REVERSE CURVATURE
- P.S.E. PUBLIC SIDEWALK EASEMENT
- P.U.D. PLANNED UNIT DEVELOPMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- R RADIUS
- S SOUTH
- SE PRIVATE SIDEWALK EASEMENT
- R/W RIGHT-OF-WAY
- TYP TYPICAL
- VSD VIERA STEWARDSHIP DISTRICT
- W WEST



THIS PLAT PREPARED BY -
B.S.E. CONSULTANTS, INC.
CONSULTING - ENGINEERING - LAND SURVEYING
312 SOUTH HARBOR CITY BOULEVARD, SUITE 400, BREVARD COUNTY, FLORIDA 32901
PHONE: (321) 725-3874 FAX: (321) 725-1109
CERTIFICATE OF BUSINESS AUTHORIZATION #0000000000
DATE: 3/20/25
DESIGN/DRAWN: HAK/DHF
DRAWING# 11583_301_001
PROJECT# 11583

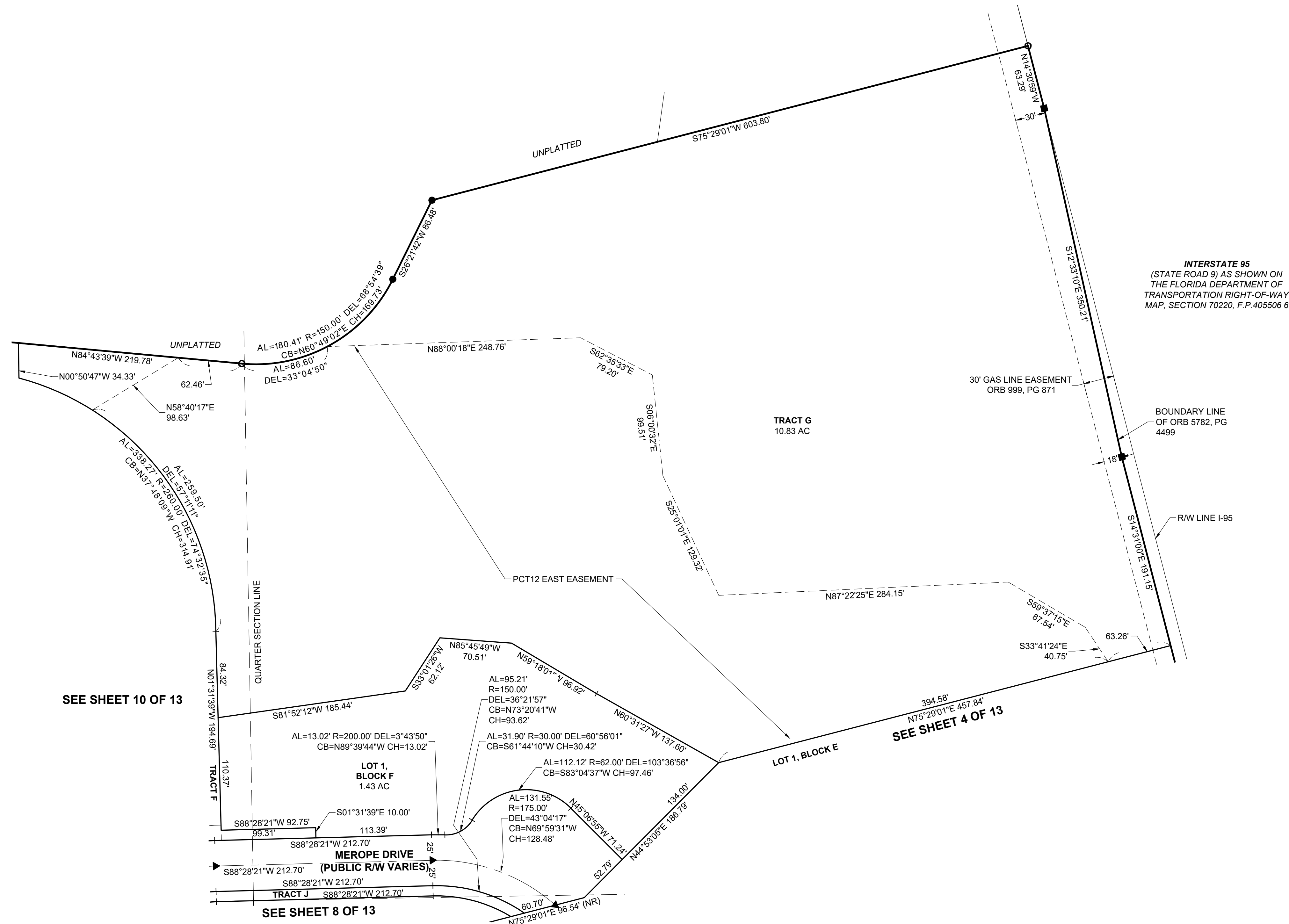
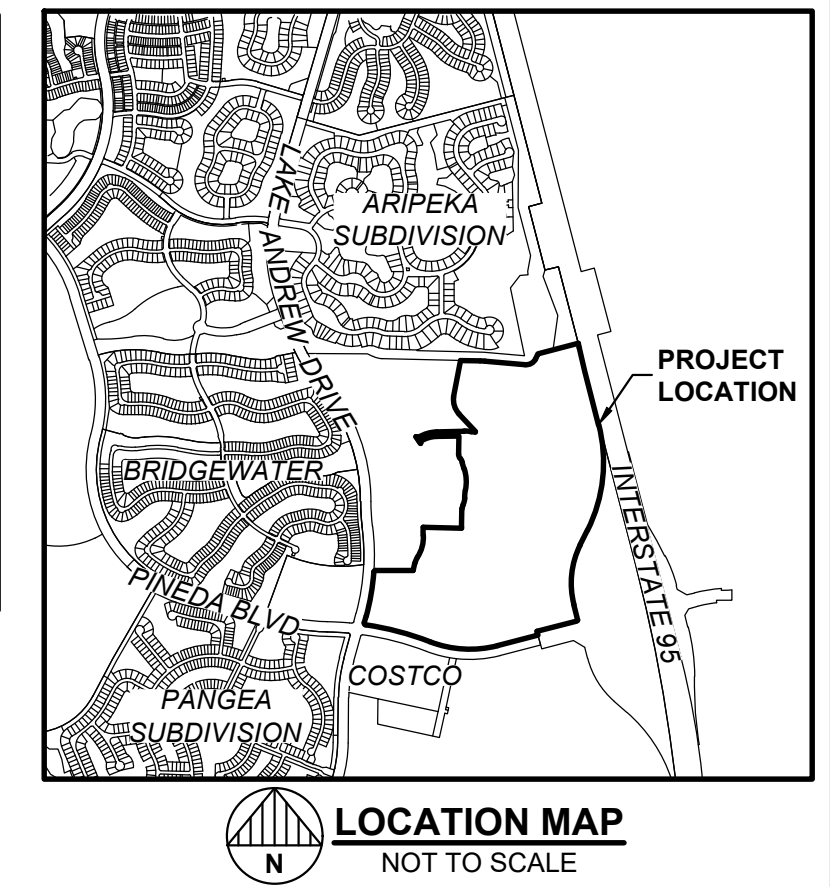
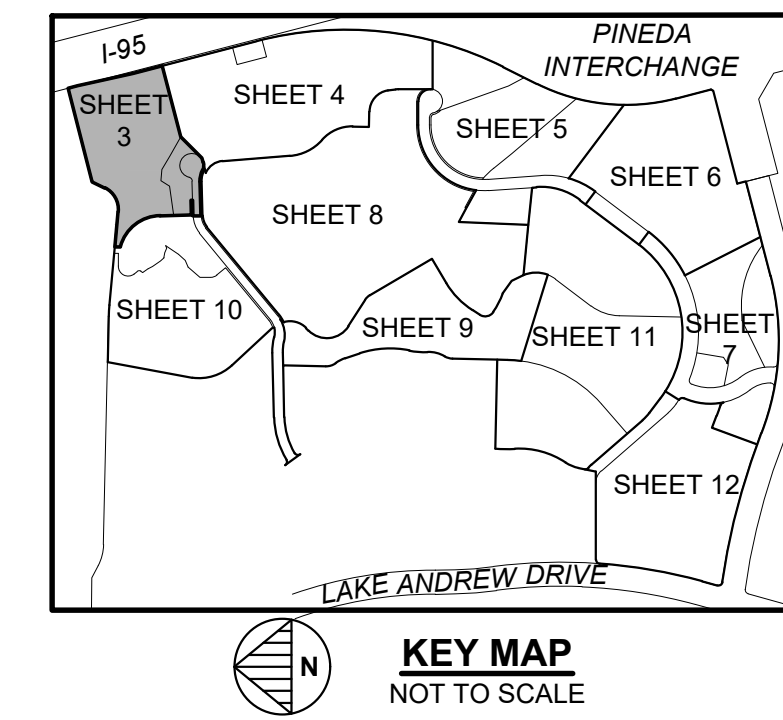
H:\Projects\Folder11583\Drawings\11583_301_001_3-20-25.dwg March 20, 2025 3:01:39 PM df

VILLAGE 2 NEIGHBORHOOD 2 - PHASE 2

SECTIONS 22 AND 27, TOWNSHIP 26 SOUTH, RANGE 36 EAST

BREVARD COUNTY, FLORIDA

PLAT BOOK _____, PAGE _____
 SHEET 3 OF 13
 SECTIONS 22 AND 27, TOWNSHIP 26 SOUTH, RANGE 36 EAST



SURVEY SYMBOL LEGEND

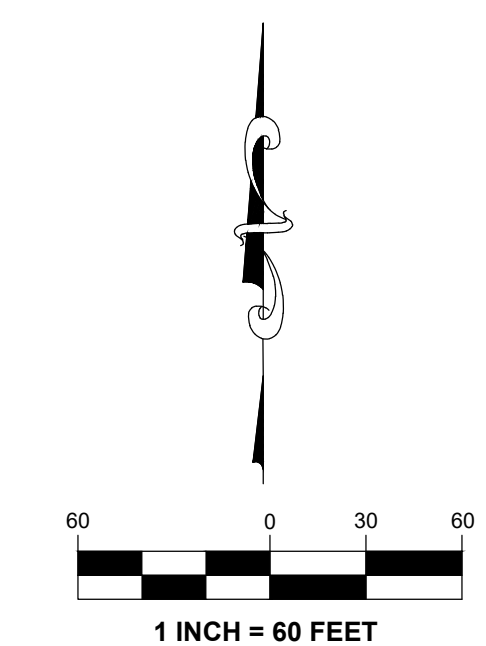
- ✚ SECTION CORNER; MARKED AS NOTED
- PERMANENT REFERENCE MONUMENT (PRM); SET 4X4 INCH CONCRETE MONUMENT WITH DISK STAMPED PRM LB4905, UNLESS OTHERWISE NOTED
- ▲ PERMANENT CONTROL POINT (PCP); SET MAG NAIL AND DISK STAMPED PCP LB4905, UNLESS OTHERWISE NOTED
- SET 5/8" IRON ROD AND CAP STAMPED "PRM LB4905" UNLESS OTHERWISE NOTED
- FD 5/8" IRON ROD AND CAP STAMPED "PRM LB4905" UNLESS OTHERWISE NOTED

ABBREVIATIONS

- ' MINUTES/FEET
- " SECONDS/INCHES
- ° DEGREES
- AC ACRES
- AL ARC LENGTH
- BOC BEGINNING OF CURVE
- CB CHORD BEARING
- CH CHORD LENGTH
- CM CONCRETE MONUMENT
- DE PRIVATE DRAINAGE EASEMENT
- DEL CENTRAL/DELTA ANGLE
- E EAST
- EOC END OF CURVE
- EX EXISTING
- FBRL FRONT BUILDING RESTRICTION LINE
- FD FOUND
- FT FOOT/FEET
- N NORTH
- NR NON-RADIAL
- NTS NOT TO SCALE
- NTI NON-TANGENT INTERSECTION

ABBREVIATIONS

- NTL NON-TANGENT LINE
- OR/ORB OFFICIAL RECORDS BOOK
- PB PLAT BOOK
- PCC POINT OF COMPOUND CURVATURE
- PCP PERMANENT CONTROL POINT
- PCT PREFERRED COVER TYPE
- PKD PARKER-KALEN NAIL AND DISK
- PG(S) PAGE(S)
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PRC POINT OF REVERSE CURVATURE
- P.S.E. PUBLIC SIDEWALK EASEMENT
- P.U.D. PLANNED UNIT DEVELOPMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- R RADIUS
- R/W RIGHT-OF-WAY
- S SOUTH
- SE PRIVATE SIDEWALK EASEMENT
- TYP TYPICAL
- VSD VIERA STEWARDSHIP DISTRICT
- W WEST



- THIS PLAT PREPARED BY -

B.S.E. CONSULTANTS, INC.
 CONSULTING - ENGINEERING - LAND SURVEYING
 312 SOUTH HARBOR CITY BOULEVARD, SUITE 400, BOCA RATON, FL 33491
 PHONE: (561) 725-3874 FAX: (561) 725-1109
 CERTIFICATE OF BUSINESS AUTHORIZATION #992

DATE: 3/20/25
DESIGN/DRAWN: HAK/DHF
DRAWING# 11583_301_001
PROJECT# 11583

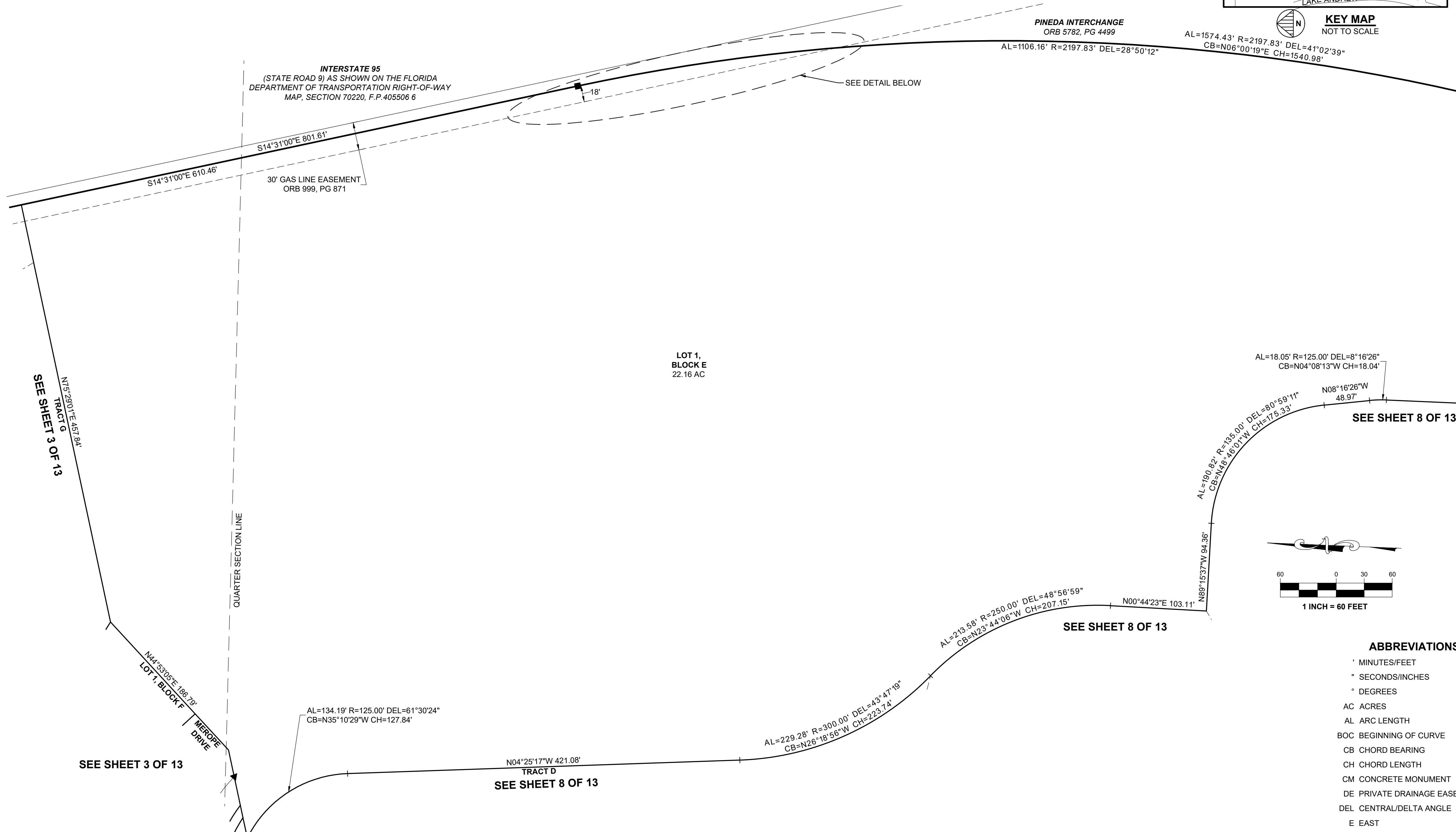
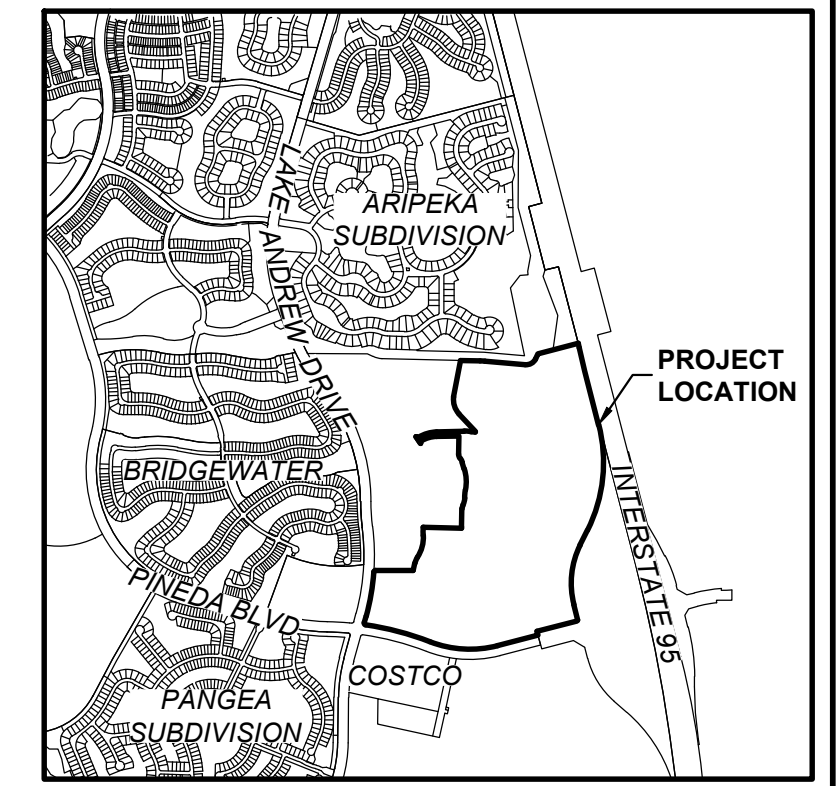
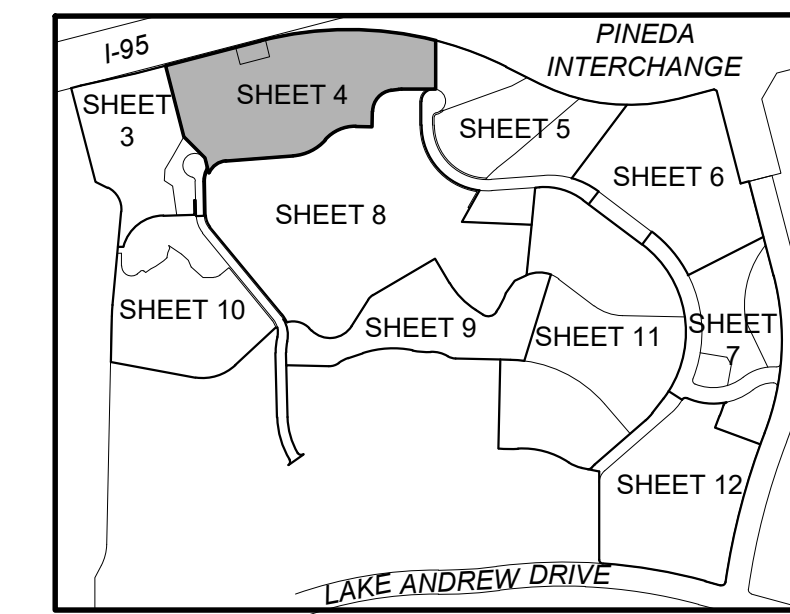
H:\Projects\Folder11583\Drawings\11583_301\11583_301_001_3-20-25.dwg March 20, 2025 2:26:03 PM of

VILLAGE 2 NEIGHBORHOOD 2 - PHASE 2

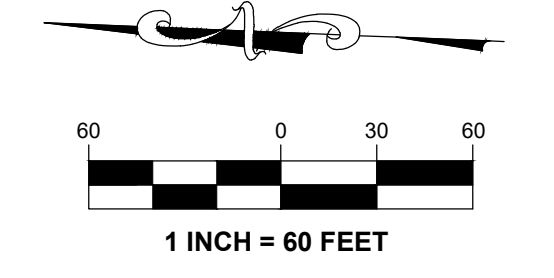
SECTIONS 22 AND 27, TOWNSHIP 26 SOUTH, RANGE 36 EAST

BREVARD COUNTY, FLORIDA

PLAT BOOK _____, PAGE _____
 SHEET 4 OF 13
 SECTIONS 22 AND 27, TOWNSHIP 26 SOUTH, RANGE 36 EAST



- SURVEY SYMBOL LEGEND**
- ⊕ SECTION CORNER; MARKED AS NOTED
 - PERMANENT REFERENCE MONUMENT (PRM); SET 4X4 INCH CONCRETE MONUMENT WITH DISK STAMPED PRM LB4905, UNLESS OTHERWISE NOTED
 - ▲ PERMANENT CONTROL POINT (PCP); SET MAG NAIL AND DISK STAMPED PCP LB4905, UNLESS OTHERWISE NOTED
 - SET 5/8" IRON ROD AND CAP STAMPED "PRM LB4905" UNLESS OTHERWISE NOTED
 - FD 5/8" IRON ROD AND CAP STAMPED "PRM LB4905" UNLESS OTHERWISE NOTED

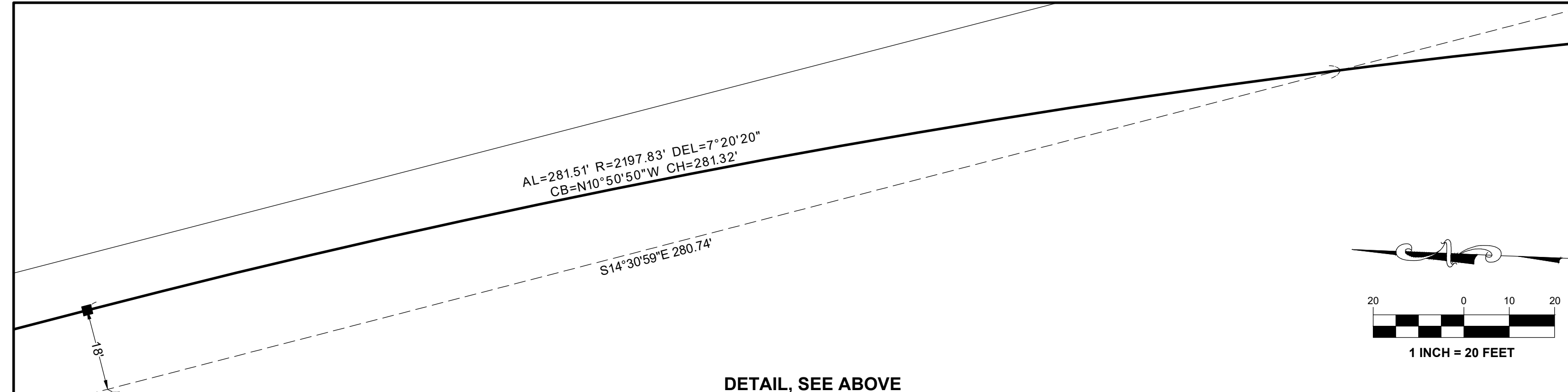


ABBREVIATIONS

- ' MINUTES/FEET
- " SECONDS/INCHES
- ° DEGREES
- AC ACRES
- AL ARC LENGTH
- BOC BEGINNING OF CURVE
- CB CHORD BEARING
- CH CHORD LENGTH
- CM CONCRETE MONUMENT
- DE PRIVATE DRAINAGE EASEMENT
- E EAST
- EOC END OF CURVE
- EX EXISTING
- FBRL FRONT BUILDING RESTRICTION LINE
- FD FOUND
- FT FOOT/FEET
- N NORTH
- NR NON-RADIAL
- NTS NOT TO SCALE
- NTI NON-TANGENT INTERSECTION

ABBREVIATIONS

- NTL NON-TANGENT LINE
- OR/ORB OFFICIAL RECORDS BOOK
- PB PLAT BOOK
- PCC POINT OF COMPOUND CURVATURE
- PCP PERMANENT CONTROL POINT
- PCT PREFERRED COVER TYPE
- PKD PARKER-KALEN NAIL AND DISK
- PG(S) PAGE(S)
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PRC POINT OF REVERSE CURVATURE
- P.S.E. PUBLIC SIDEWALK EASEMENT
- P.U.D. PLANNED UNIT DEVELOPMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- R RADIUS
- R/W RIGHT-OF-WAY
- S SOUTH
- SE PRIVATE SIDEWALK EASEMENT
- TYP TYPICAL
- VSD VIERA STEWARDSHIP DISTRICT
- W WEST



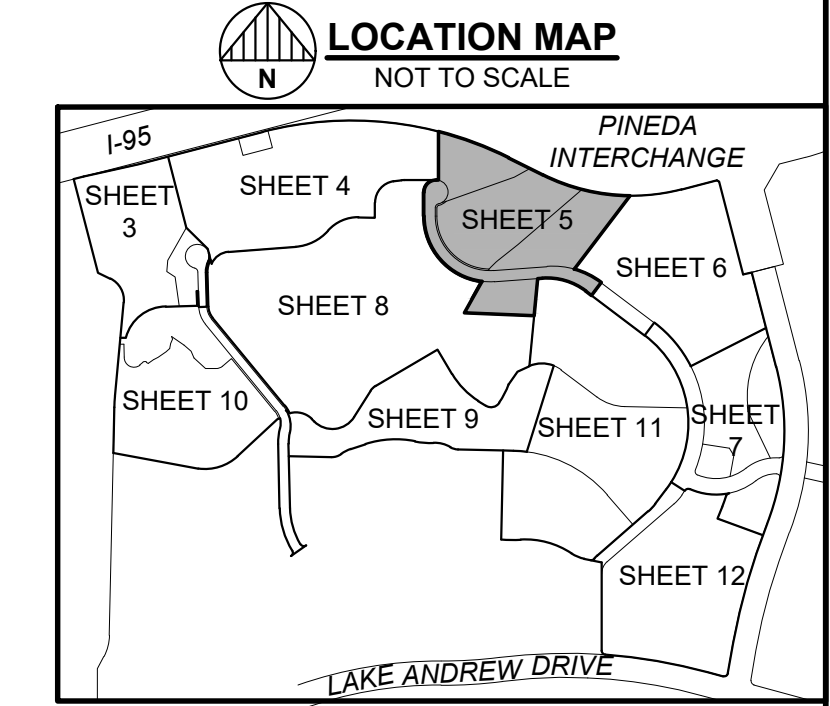
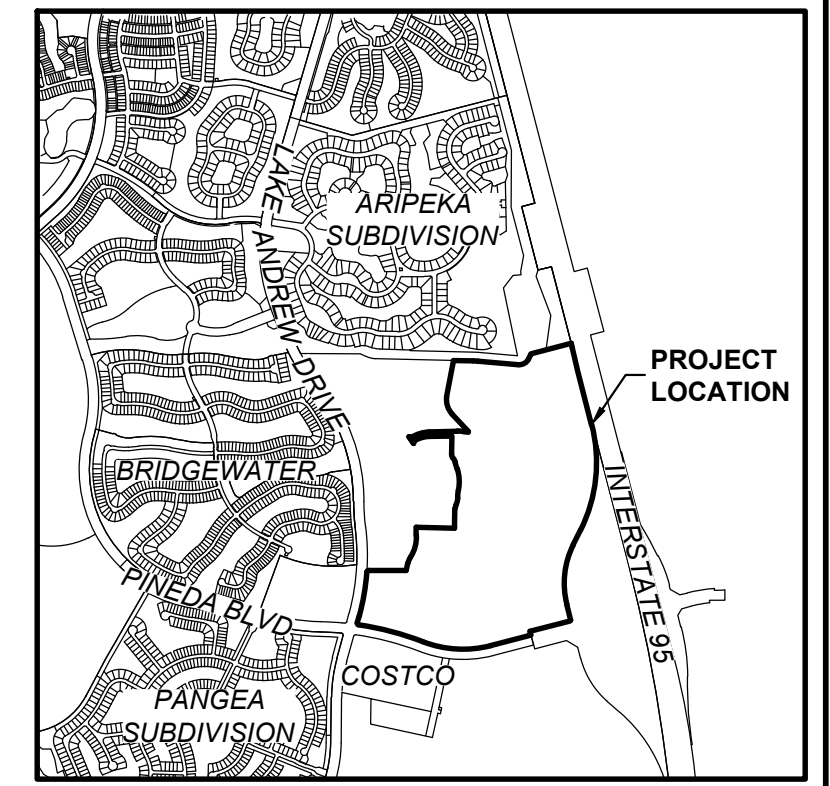
H:\Projects\Folder11583\Drawings\11583_301_001.dwg March 10, 2025 10:10:04 AM ak

VILLAGE 2 NEIGHBORHOOD 2 - PHASE 2

SECTIONS 22 AND 27, TOWNSHIP 26 SOUTH, RANGE 36 EAST

BREVARD COUNTY, FLORIDA

PLAT BOOK _____, PAGE _____
SHEET 5 OF 13
SECTIONS 22 AND 27, TOWNSHIP 26 SOUTH, RANGE 36 EAST



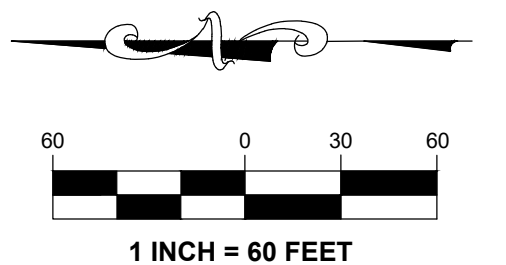
- SURVEY SYMBOL LEGEND**
- ⊕ SECTION CORNER; MARKED AS NOTED
 - PERMANENT REFERENCE MONUMENT (PRM); SET 4X4 INCH CONCRETE MONUMENT WITH DISK STAMPED PRM LB4905, UNLESS OTHERWISE NOTED
 - ▲ PERMANENT CONTROL POINT (PCP); SET MAG NAIL AND DISK STAMPED PCP LB4905, UNLESS OTHERWISE NOTED
 - SET 5/8" IRON ROD AND CAP STAMPED "PRM LB4905" UNLESS OTHERWISE NOTED
 - FD 5/8" IRON ROD AND CAP STAMPED "PRM LB4905" UNLESS OTHERWISE NOTED

ABBREVIATIONS

- ' MINUTES/FEET
- " SECONDS/INCHES
- ° DEGREES
- AC ACRES
- AL ARC LENGTH
- BOC BEGINNING OF CURVE
- CB CHORD BEARING
- CH CHORD LENGTH
- CM CONCRETE MONUMENT
- DE PRIVATE DRAINAGE EASEMENT
- DEL CENTRAL/DELTA ANGLE
- E EAST
- EOC END OF CURVE
- EX EXISTING
- FBRL FRONT BUILDING RESTRICTION LINE
- FD FOUND
- FT FOOT/FEET
- N NORTH
- NR NON-RADIAL
- NTS NOT TO SCALE
- NTI NON-TANGENT INTERSECTION

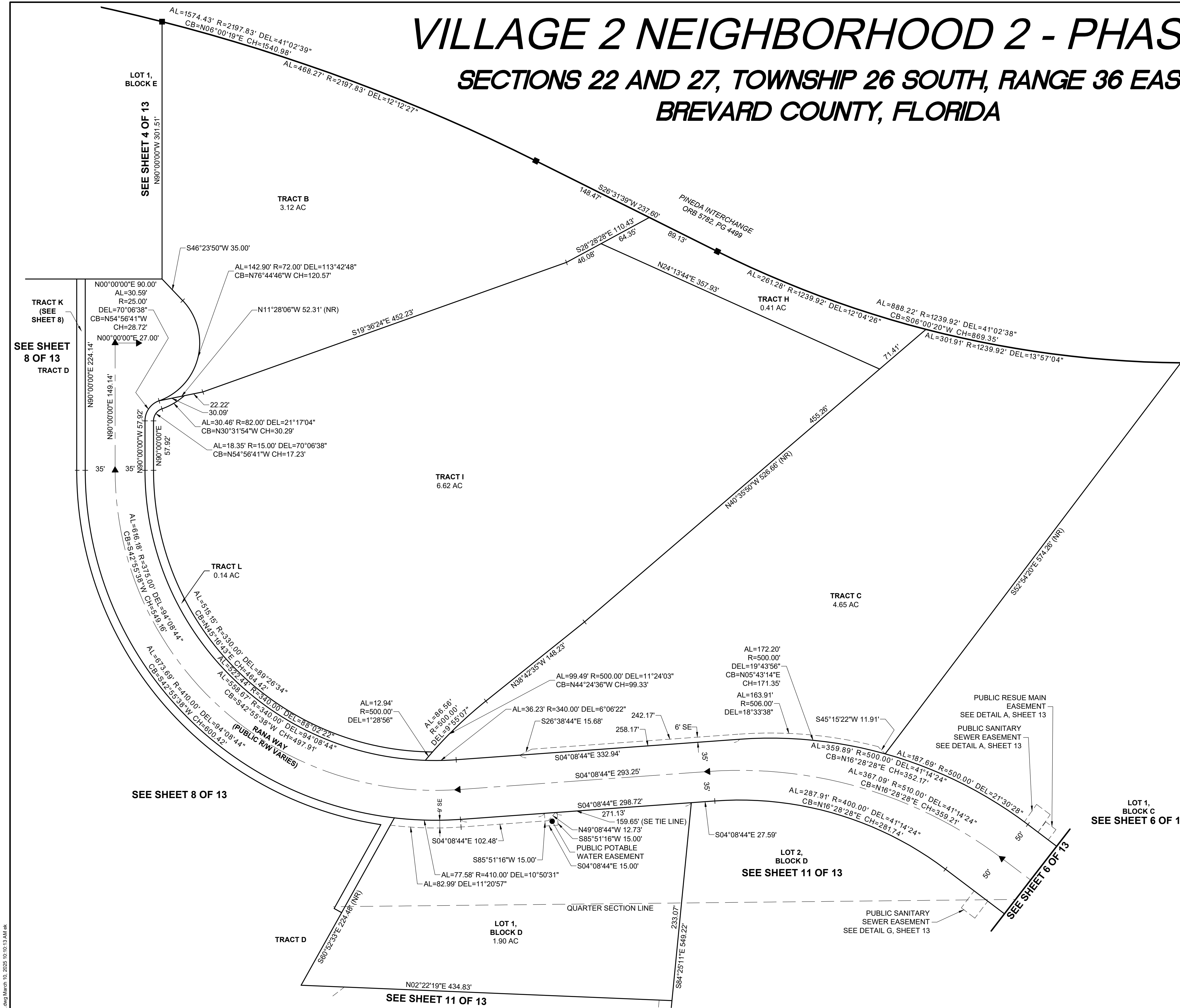
ABBREVIATIONS

- NTL NON-TANGENT LINE
- OR/ORB OFFICIAL RECORDS BOOK
- PB PLAT BOOK
- PCC POINT OF COMPOUND CURVATURE
- PCP PERMANENT CONTROL POINT
- PCT PREFERRED COVER TYPE
- PKD PARKER-KALEN NAIL AND DISK
- PG(S) PAGE(S)
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PRC POINT OF REVERSE CURVATURE
- P.S.E. PUBLIC SIDEWALK EASEMENT
- P.U.D. PLANNED UNIT DEVELOPMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- R RADIUS
- R/W RIGHT-OF-WAY
- S SOUTH
- SE PRIVATE SIDEWALK EASEMENT
- TYP TYPICAL
- VSD VIERA STEWARDSHIP DISTRICT
- W WEST



- THIS PLAT PREPARED BY -

	B.S.E. CONSULTANTS, INC.	DATE: 3/10/25
	CONSULTING - ENGINEERING - LAND SURVEYING	DESIGN/DRAWN: HAK/DHF
	312 SOUTH HARBOR CITY BOULEVARD, SUITE 400, BOCA RATON, FL 33491	DRAWING# 11583_301_001
	PHONE: (561) 725-3874 FAX: (561) 725-1159	PROJECT# 11583



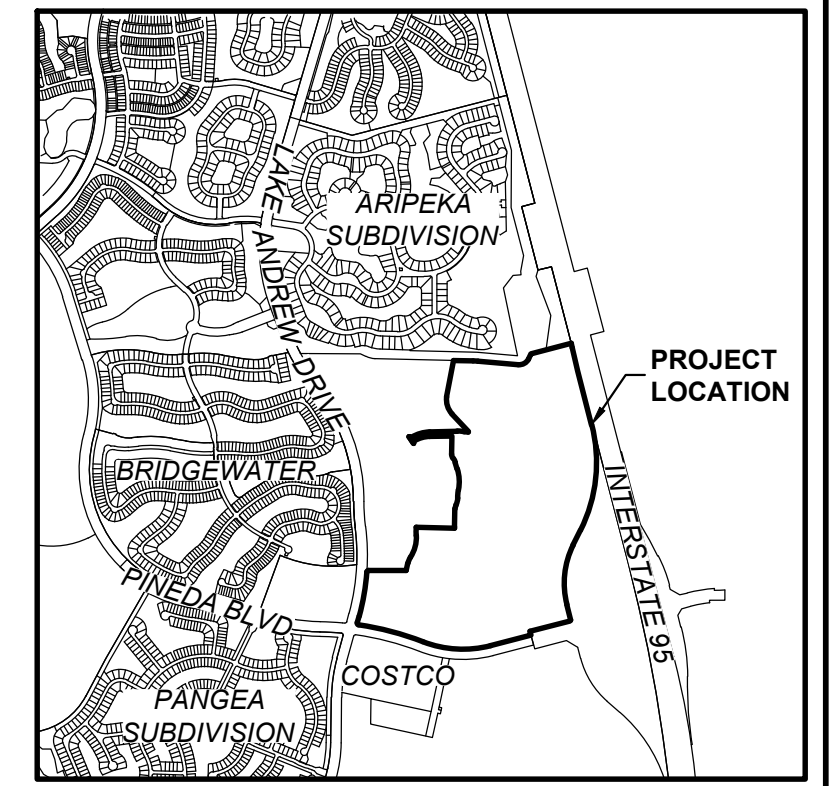
H:\Projects\Folder11583\Drawings\11583_301_001.dwg March 10, 2025 10:10:13 AM ak

VILLAGE 2 NEIGHBORHOOD 2 - PHASE 2

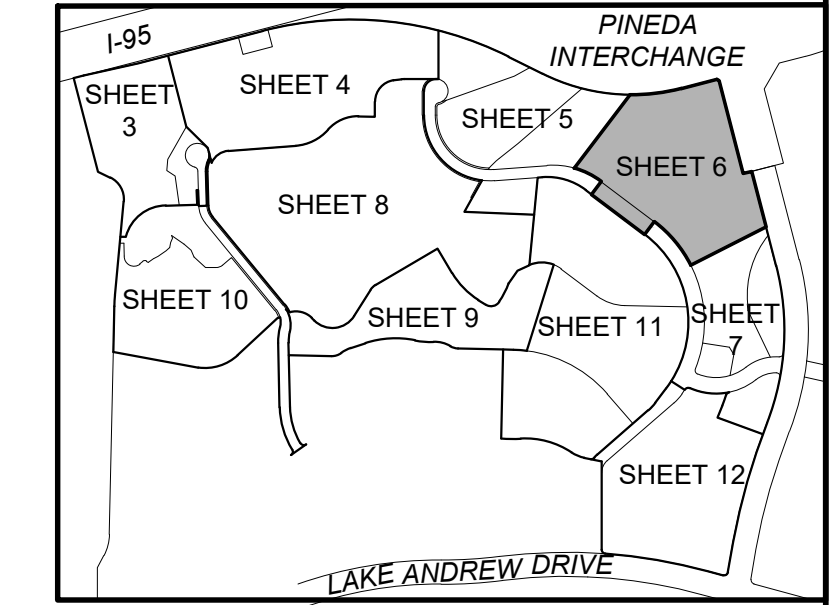
SECTIONS 22 AND 27, TOWNSHIP 26 SOUTH, RANGE 36 EAST

BREVARD COUNTY, FLORIDA

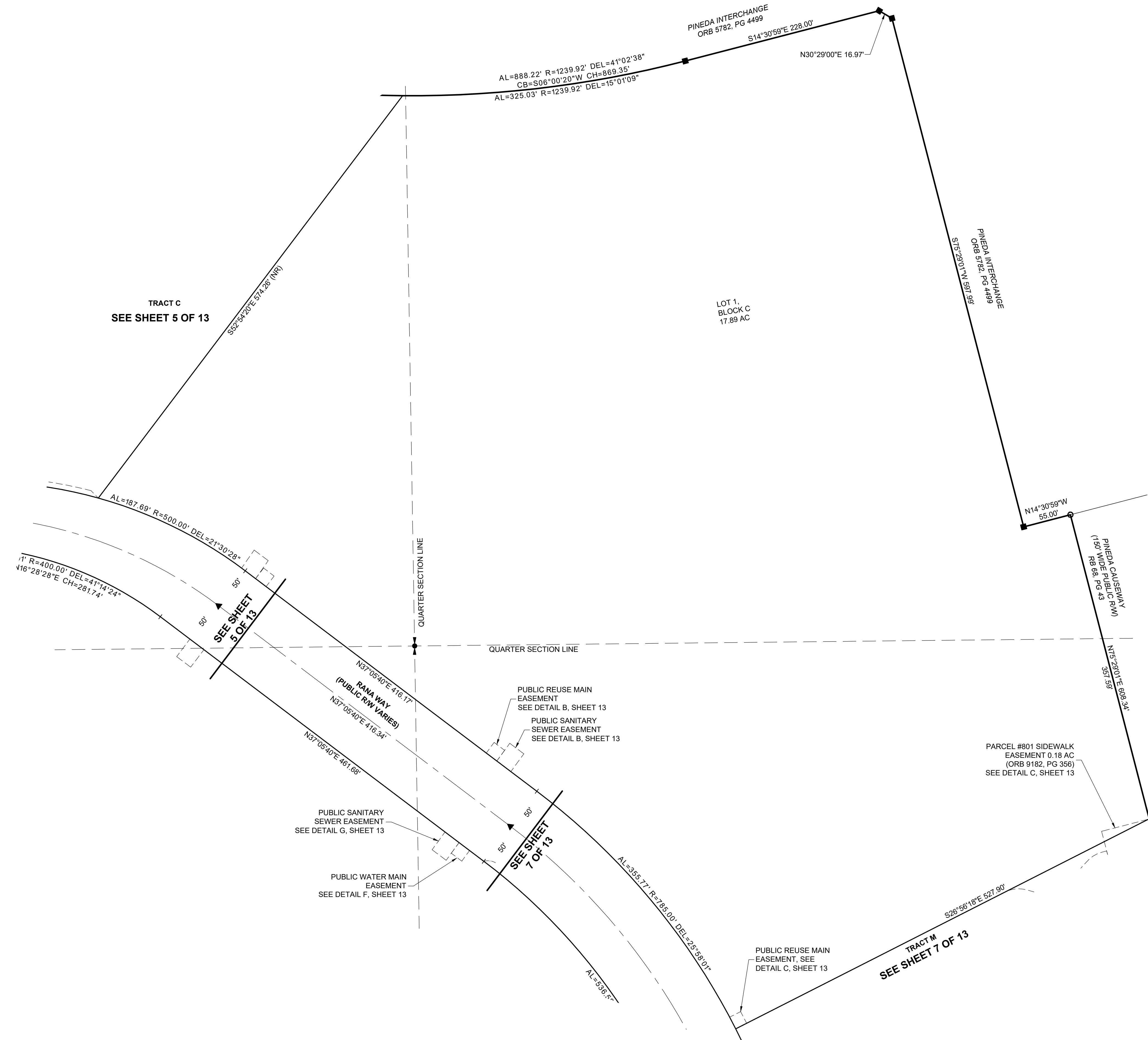
PLAT BOOK _____, PAGE _____
 SHEET 6 OF 13
 SECTIONS 22 AND 27, TOWNSHIP 26 SOUTH, RANGE 36 EAST



LOCATION MAP
NOT TO SCALE



KEY MAP
NOT TO SCALE



SURVEY SYMBOL LEGEND

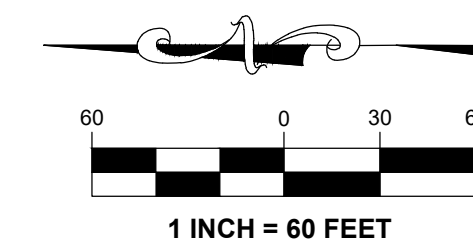
- ⊕ SECTION CORNER, MARKED AS NOTED
- PERMANENT REFERENCE MONUMENT (PRM); SET 4X4 INCH CONCRETE MONUMENT WITH DISK STAMPED PRM LB4905, UNLESS OTHERWISE NOTED
- ▲ PERMANENT CONTROL POINT (PCP); SET MAG NAIL AND DISK STAMPED PCP LB4905, UNLESS OTHERWISE NOTED
- SET 5/8" IRON ROD AND CAP STAMPED "PRM LB4905" UNLESS OTHERWISE NOTED
- FD 5/8" IRON ROD AND CAP STAMPED "PRM LB4905" UNLESS OTHERWISE NOTED

ABBREVIATIONS

- * MINUTES/FEET
- * SECONDS/INCHES
- * DEGREES
- AC ACRES
- AL ARC LENGTH
- BOC BEGINNING OF CURVE
- CB CHORD BEARING
- CH CHORD LENGTH
- CM CONCRETE MONUMENT
- DE PRIVATE DRAINAGE EASEMENT
- DEL CENTRAL/Delta ANGLE
- E EAST
- EOC END OF CURVE
- EX EXISTING
- FBRL FRONT BUILDING RESTRICTION LINE
- FD FOUND
- FT FOOT/FEET
- N NORTH
- NR NON-RADIAL
- NTS NOT TO SCALE
- NTI NON-TANGENT INTERSECTION

ABBREVIATIONS

- N TL NON-TANGENT LINE
- OR/ORB OFFICIAL RECORDS BOOK
- PB PLAT BOOK
- PCC POINT OF COMPOUND CURVATURE
- PCP PERMANENT CONTROL POINT
- PCT PREFERRED COVER TYPE
- PKD PARKER-KALEN NAIL AND DISK
- PG(S) PAGE(S)
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PRC POINT OF REVERSE CURVATURE
- P.S.E. PUBLIC SIDEWALK EASEMENT
- P.U.D. PLANNED UNIT DEVELOPMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- R RADIUS
- R/W RIGHT-OF-WAY
- S SOUTH
- SE PRIVATE SIDEWALK EASEMENT
- TYP TYPICAL
- VSD VIERA STEWARDSHIP DISTRICT
- W WATER



THIS PLAT PREPARED BY -
B.S.E. CONSULTANTS, INC.
 CONSULTING - ENGINEERING - LAND SURVEYING
 312 SOUTH HARBOR CITY BOULEVARD, SUITE 400, BOCA RATON, FL 33491
 PHONE: (561) 725-3874 FAX: (561) 725-1159
 CERTIFICATE OF BUSINESS AUTHORIZATION #992
 CERTIFICATE OF LAND SURVEYING BUSINESS AUTHORIZATION: LB0004965
 DATE: 3/10/25
 DESIGN/DRAWN: HAK/DHF
 DRAWING# 11583_301_001
 PROJECT# 11583

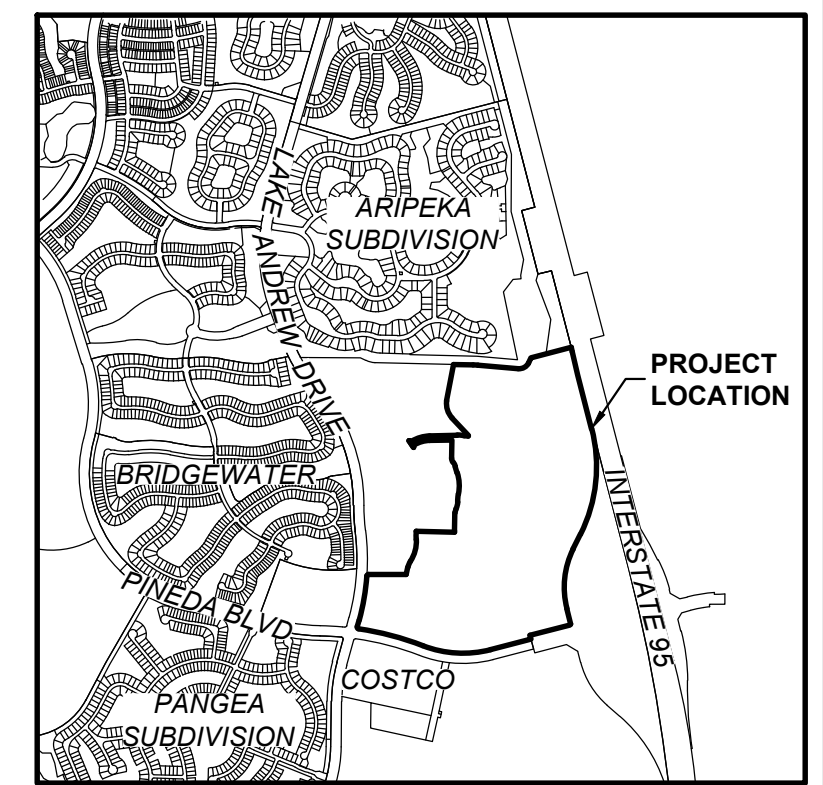
HP\Projects\Folder11583\Drawings\11583_301_001.dwg March 10, 2025 10:10:21 AM ek

VILLAGE 2 NEIGHBORHOOD 2 - PHASE 2

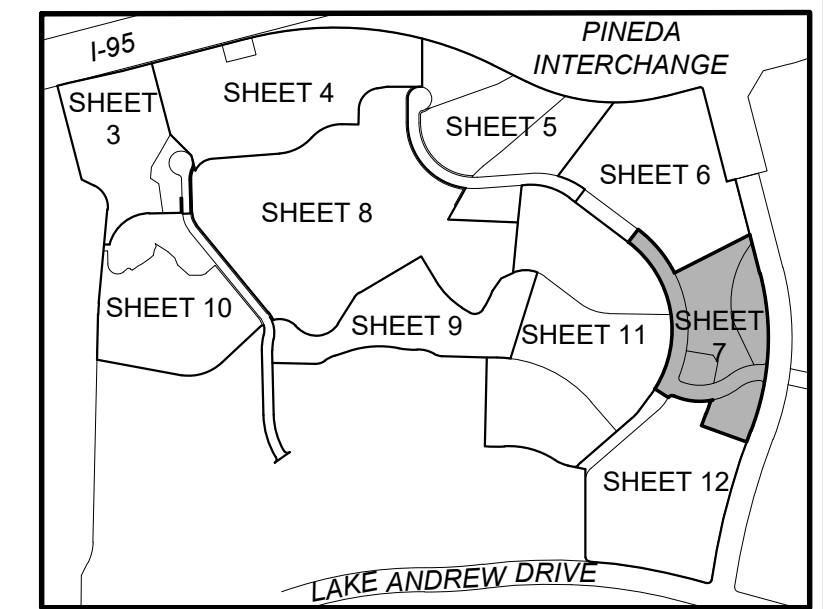
SECTIONS 22 AND 27, TOWNSHIP 26 SOUTH, RANGE 36 EAST

BREVARD COUNTY, FLORIDA

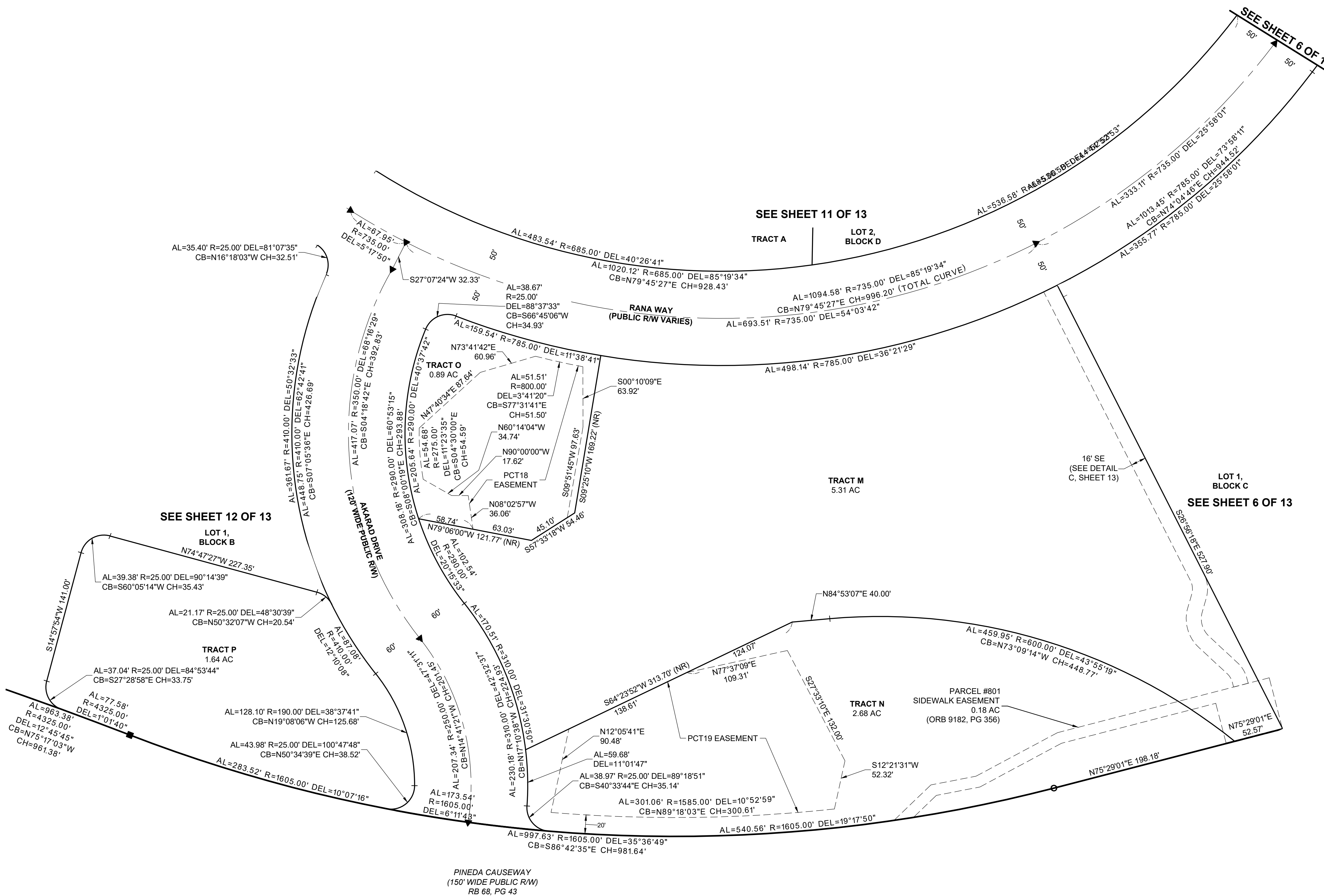
PLAT BOOK _____, PAGE _____
 SHEET 7 OF 13
 SECTIONS 22 AND 27, TOWNSHIP 26 SOUTH, RANGE 36 EAST



LOCATION MAP
NOT TO SCALE

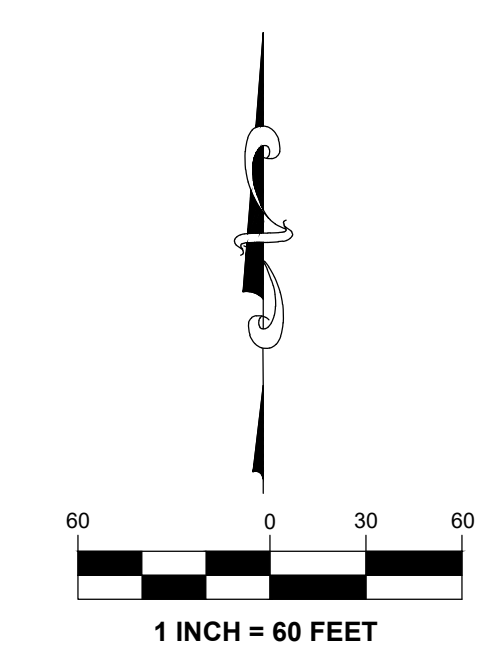


KEY MAP
NOT TO SCALE



- SURVEY SYMBOL LEGEND**
- ⊕ SECTION CORNER, MARKED AS NOTED
 - PERMANENT REFERENCE MONUMENT (PRM); SET 4X4 INCH CONCRETE MONUMENT WITH DISK STAMPED PRM LB4905, UNLESS OTHERWISE NOTED
 - ▲ PERMANENT CONTROL POINT (PCP); SET MAG NAIL AND DISK STAMPED PCP LB4905, UNLESS OTHERWISE NOTED
 - SET 5/8" IRON ROD AND CAP STAMPED "PRM LB4905" UNLESS OTHERWISE NOTED
 - FD 5/8" IRON ROD AND CAP STAMPED "PRM LB4905" UNLESS OTHERWISE NOTED

- ABBREVIATIONS**
- | | |
|--------------------------------------|---------------------------------|
| MINUTES/FEET | NTL NON-TANGENT LINE |
| SECONDS/INCHES | OR/ORB OFFICIAL RECORDS BOOK |
| DEGREES | PB PLAT BOOK |
| AC ACRES | PCC POINT OF COMPOUND CURVATURE |
| AL ARC LENGTH | PCP PERMANENT CONTROL POINT |
| BOC BEGINNING OF CURVE | PCT PREFERRED COVER TYPE |
| CB CHORD BEARING | PKD PARKER-KALEN NAIL AND DISK |
| CH CHORD LENGTH | PG(S) PAGE(S) |
| CM CONCRETE MONUMENT | POB POINT OF BEGINNING |
| DE PRIVATE DRAINAGE EASEMENT | POC POINT OF COMMENCEMENT |
| DEL CENTRAL/DELTA ANGLE | PRC POINT OF REVERSE CURVATURE |
| E EAST | P.S.E. PUBLIC SIDEWALK EASEMENT |
| EOC END OF CURVE | P.U.D. PLANNED UNIT DEVELOPMENT |
| EX EXISTING | P.U.E. PUBLIC UTILITY EASEMENT |
| FBRL FRONT BUILDING RESTRICTION LINE | R RADIUS |
| FD FOUND | R/W RIGHT-OF-WAY |
| FT FOOT/FEET | S SOUTH |
| N NORTH | SE PRIVATE SIDEWALK EASEMENT |
| NR NON-RADIAL | TYP TYPICAL |
| NTS NOT TO SCALE | VSD VIERA STEWARDSHIP DISTRICT |
| NTI NON-TANGENT INTERSECTION | W WEST |



THIS PLAT PREPARED BY -
B.S.E. CONSULTANTS, INC.
 CONSULTING - ENGINEERING - LAND SURVEYING
 312 SOUTH HARBOR CITY BOULEVARD, SUITE 406, BOCA RATON, FL 33431
 PHONE: (561) 725-3874 FAX: (561) 725-1159
 CERTIFICATE OF BUSINESS AUTHORIZATION: LB0004965

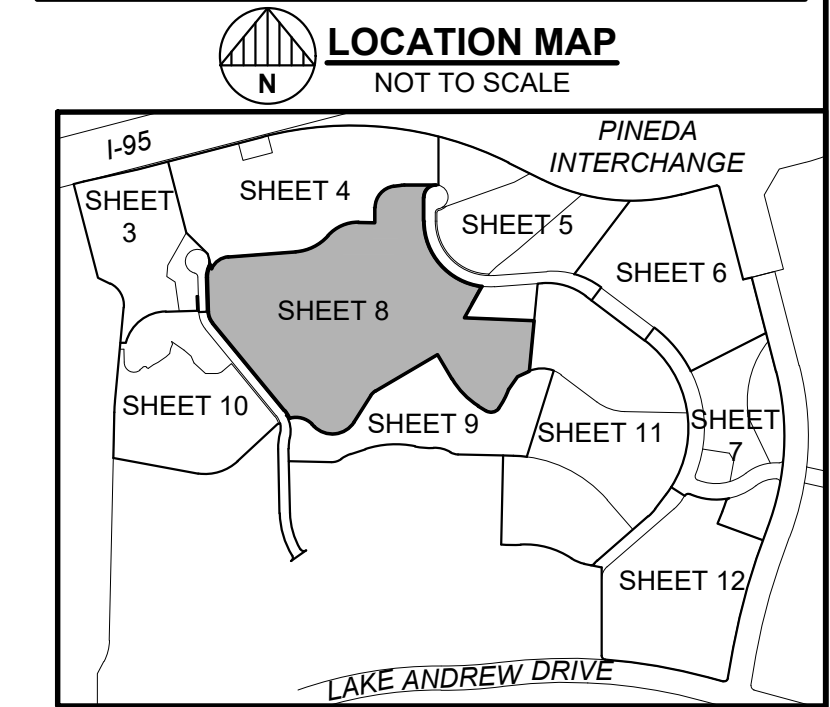
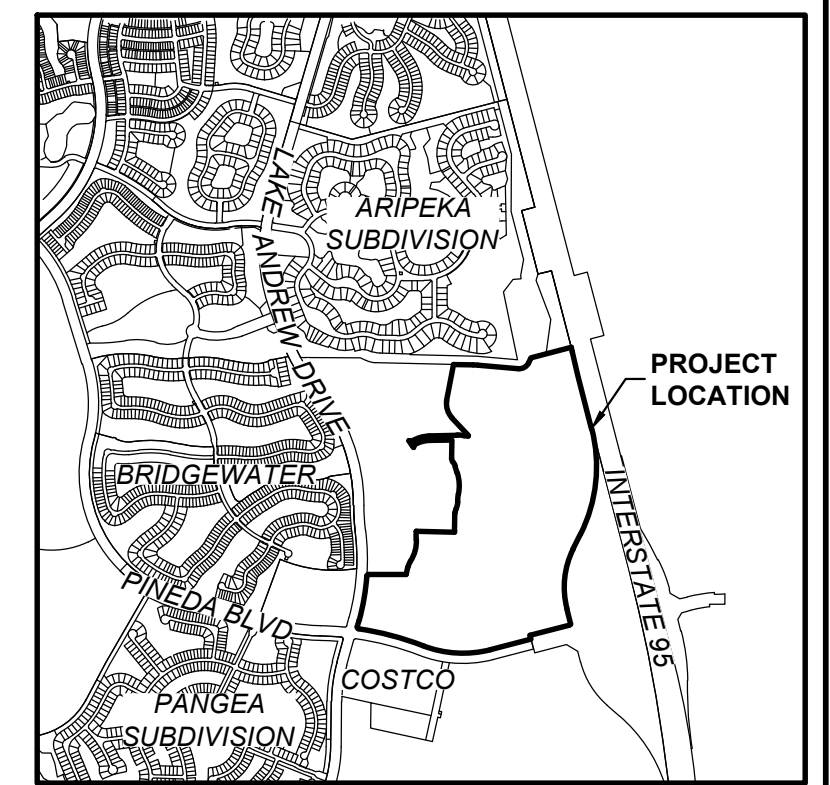
DATE: 3/10/25
 DESIGN/DRAWN: HAK/DHF
 DRAWING# 11583_301_001
 PROJECT# 11583

H:\Projects\Files\11583\Drawings\11583_301_001.dwg March 10, 2025 10:10:32 AM ak

VILLAGE 2 NEIGHBORHOOD 2 - PHASE 2

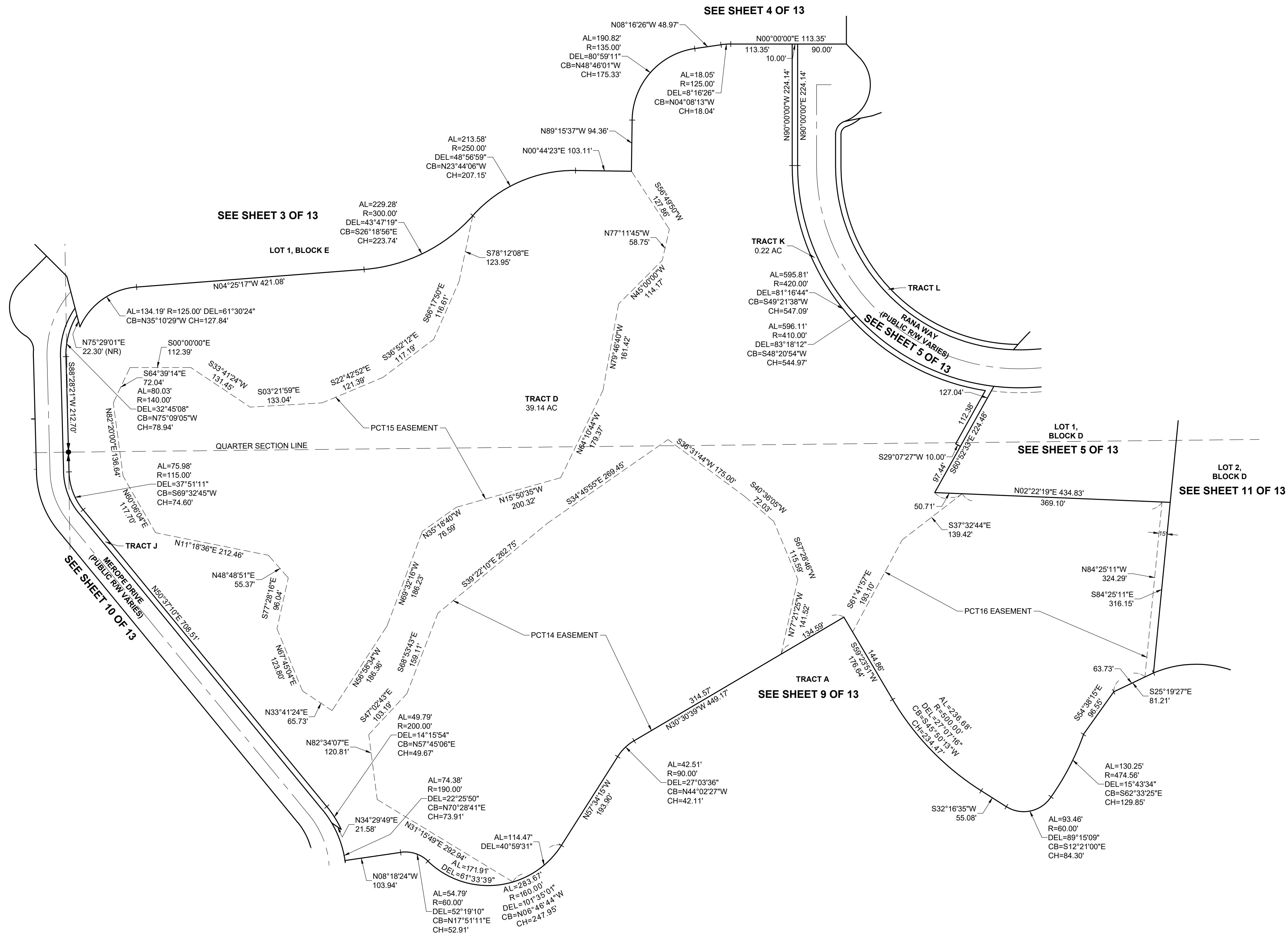
SECTIONS 22 AND 27, TOWNSHIP 26 SOUTH, RANGE 36 EAST

BREVARD COUNTY, FLORIDA



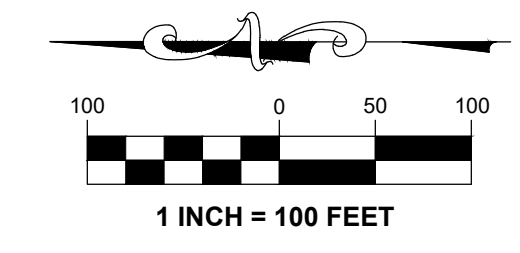
LOCATION MAP
NOT TO SCALE

KEY MAP
NOT TO SCALE



- SURVEY SYMBOL LEGEND**
- ⊕ SECTION CORNER, MARKED AS NOTED
 - PERMANENT REFERENCE MONUMENT (PRM); SET 4X4 INCH CONCRETE MONUMENT WITH DISK STAMPED PRM LB4905, UNLESS OTHERWISE NOTED
 - ▲ PERMANENT CONTROL POINT (PCP); SET MAG NAIL AND DISK STAMPED PCP LB4905, UNLESS OTHERWISE NOTED
 - SET 5/8" IRON ROD AND CAP STAMPED "PRM LB4905" UNLESS OTHERWISE NOTED
 - FD 5/8" IRON ROD AND CAP STAMPED "PRM LB4905" UNLESS OTHERWISE NOTED

- | ABBREVIATIONS | |
|---------------|---------------------------------|
| ' | MINUTES/FEET |
| " | SECONDS/INCHES |
| ° | DEGREES |
| AC | ACRES |
| AL | ARC LENGTH |
| BOC | BEGINNING OF CURVE |
| CB | CHORD BEARING |
| CH | CHORD LENGTH |
| CM | CONCRETE MONUMENT |
| DE | PRIVATE DRAINAGE EASEMENT |
| DEL | CENTRAL/DELTA ANGLE |
| E | EAST |
| EOC | END OF CURVE |
| EX | EXISTING |
| FBRL | FRONT BUILDING RESTRICTION LINE |
| FD | FOUND |
| FT | FOOT/FEET |
| N | NORTH |
| NR | NON-RADIAL |
| NTS | NOT TO SCALE |
| NTI | NON-TANGENT INTERSECTION |
| NTL | NON-TANGENT LINE |
| OR/ORB | OFFICIAL RECORDS BOOK |
| PB | PLAT BOOK |
| PCC | POINT OF COMPOUND CURVATURE |
| PCP | PERMANENT CONTROL POINT |
| PCT | PREFERRED COVER TYPE |
| PKD | PARKER-KALEN NAIL AND DISK |
| PG(S) | PAGE(S) |
| POB | POINT OF BEGINNING |
| POC | POINT OF COMMENCEMENT |
| PRC | POINT OF REVERSE CURVATURE |
| P.S.E. | PUBLIC SIDEWALK EASEMENT |
| P.U.D. | PLANNED UNIT DEVELOPMENT |
| P.U.E. | PUBLIC UTILITY EASEMENT |
| R | RADIUS |
| R/W | RIGHT-OF-WAY |
| S | SOUTH |
| SE | PRIVATE SIDEWALK EASEMENT |
| TYP | TYPICAL |
| VSD | VIERA STEWARDSHIP DISTRICT |
| W | WEST |



THIS PLAT PREPARED BY -
B.S.E. CONSULTANTS, INC.
CONSULTING - ENGINEERING - LAND SURVEYING
312 SOUTH HARBOR CITY BOULEVARD, SUITE 400, BOCA RATON, FL 33491
PHONE: (561) 725-3874 FAX: (561) 725-1159
CERTIFICATE OF BUSINESS AUTHORIZATION #952
DATE: 3/10/25
DESIGN/DRAWN: HAK/DHF
DRAWING# 11583_301_001
PROJECT# 11583

H:\Projects\Folder11583\Drawings\11583_301_001.dwg March 10, 2025 10:10:41 AM ak

VILLAGE 2 NEIGHBORHOOD 2 - PHASE 2

SECTIONS 22 AND 27, TOWNSHIP 26 SOUTH, RANGE 36 EAST

BREVARD COUNTY, FLORIDA

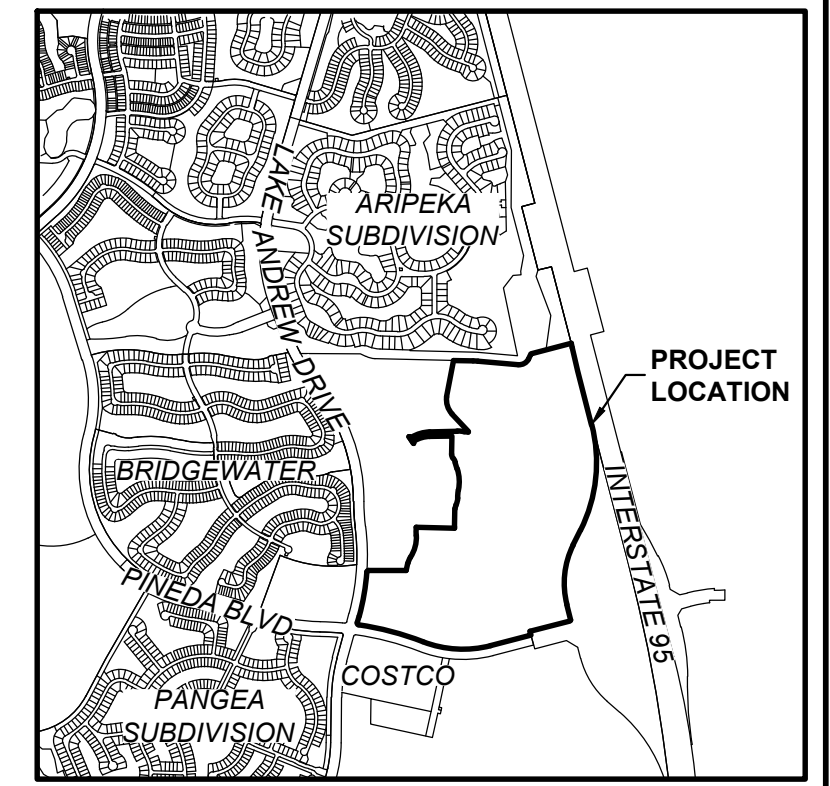
PLAT BOOK _____, PAGE _____
 SHEET 9 OF 13
 SECTIONS 22 AND 27, TOWNSHIP 26 SOUTH, RANGE 36 EAST

ABBREVIATIONS

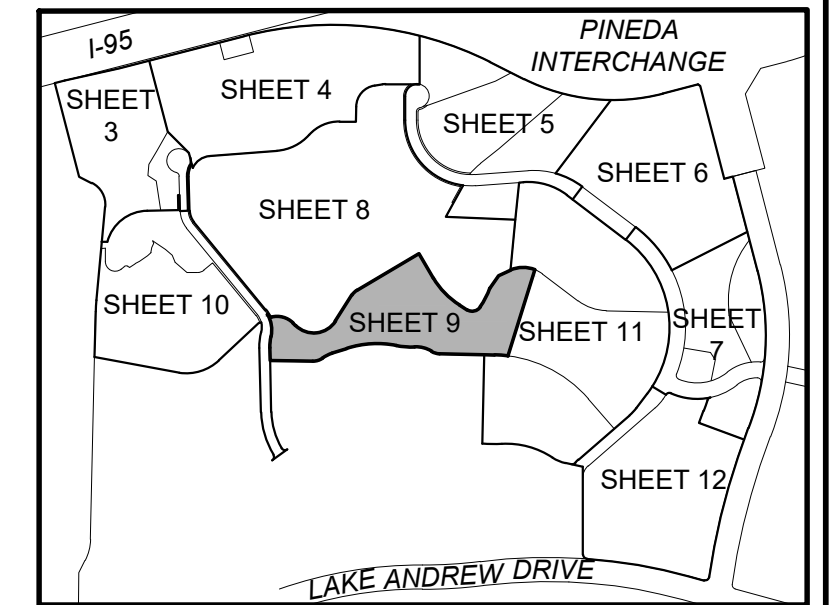
- * MINUTES/FEET
- " SECONDS/INCHES
- ° DEGREES
- AC ACRES
- AL ARC LENGTH
- BOC BEGINNING OF CURVE
- CB CHORD BEARING
- CH CHORD LENGTH
- CM CONCRETE MONUMENT
- DE PRIVATE DRAINAGE EASEMENT
- DEL CENTRAL/Delta ANGLE
- E EAST
- EOC END OF CURVE
- EX EXISTING
- FBRL FRONT BUILDING RESTRICTION LINE
- FD FOUND
- FT FOOT/FEET
- N NORTH
- NR NON-RADIAL
- NTS NOT TO SCALE
- NTI NON-TANGENT INTERSECTION

ABBREVIATIONS

- NLT NON-TANGENT LINE
- OR/ORB OFFICIAL RECORDS BOOK
- PB PLAT BOOK
- PCC POINT OF COMPOUND CURVATURE
- PCP PERMANENT CONTROL POINT
- PCT PREFERRED COVER TYPE
- PKD PARKER-KALEN NAIL AND DISK
- PG(S) PAGE(S)
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PRC POINT OF REVERSE CURVATURE
- P.S.E. PUBLIC SIDEWALK EASEMENT
- P.U.D. PLANNED UNIT DEVELOPMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- R RADIUS
- R/W RIGHT-OF-WAY
- S SOUTH
- SE PRIVATE SIDEWALK EASEMENT
- TYP TYPICAL
- VSD VIERA STEWARDSHIP DISTRICT
- W WEST



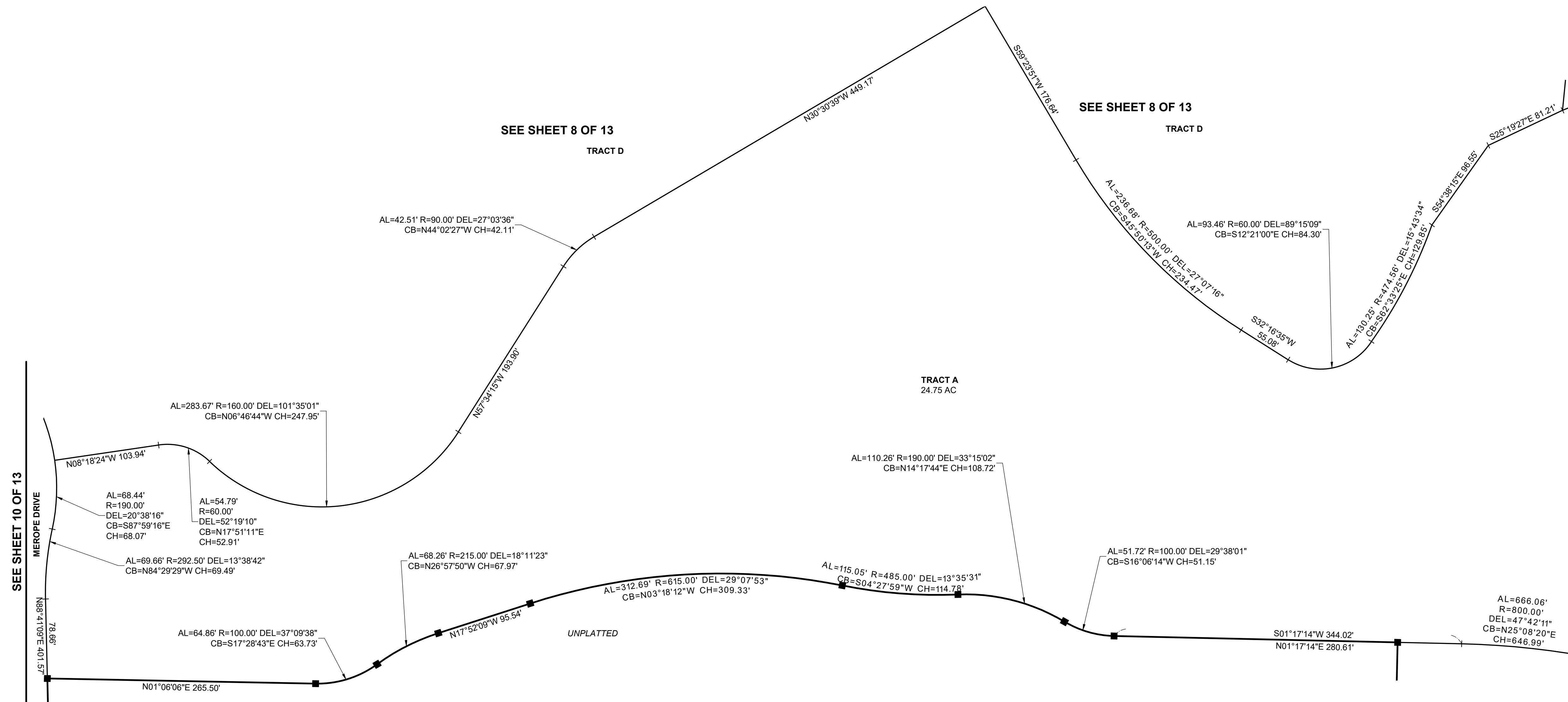
LOCATION MAP
NOT TO SCALE



KEY MAP
NOT TO SCALE

SURVEY SYMBOL LEGEND

- ⊕ SECTION CORNER; MARKED AS NOTED
- PERMANENT REFERENCE MONUMENT (PRM); SET 4X4 INCH CONCRETE MONUMENT WITH DISK STAMPED PRM LB4905, UNLESS OTHERWISE NOTED
- ▲ PERMANENT CONTROL POINT (PCP); SET MAG NAIL AND DISK STAMPED PCP LB4905, UNLESS OTHERWISE NOTED
- SET 5/8" IRON ROD AND CAP STAMPED "PRM LB4905" UNLESS OTHERWISE NOTED
- FD 5/8" IRON ROD AND CAP STAMPED "PRM LB4905" UNLESS OTHERWISE NOTED



SEE SHEET 10 OF 13

SEE SHEET 8 OF 13
TRACT D

SEE SHEET 8 OF 13
TRACT D

TRACT A
24.75 AC

UNPLATTED

SEE SHEET 11 OF 13 FOR CONTINUATION OF TRACT A

- THIS PLAT PREPARED BY -



B.S.E. CONSULTANTS, INC.
 CONSULTING - ENGINEERING - LAND SURVEYING
 312 SOUTH HARBOR CITY BOULEVARD, SUITE 400, DEER BEACH, FL 33441
 PHONE: (561) 725-3874 FAX: (561) 725-1159
 CERTIFICATE OF BUSINESS AUTHORIZATION #662

DATE: 3/10/25
 DESIGN/DRAWN: HAK/DHF
 DRAWING# 11583_301_001
 PROJECT# 11583

VILLAGE 2 NEIGHBORHOOD 2 - PHASE 2

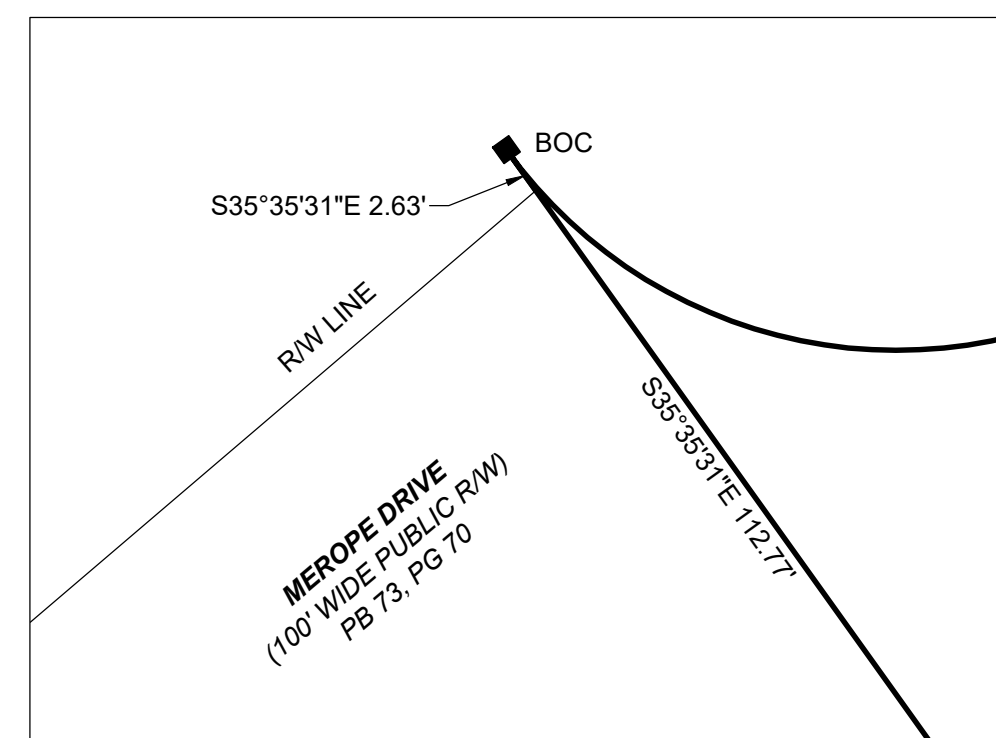
SECTIONS 22 AND 27, TOWNSHIP 26 SOUTH, RANGE 36 EAST BREVARD COUNTY, FLORIDA

ABBREVIATIONS

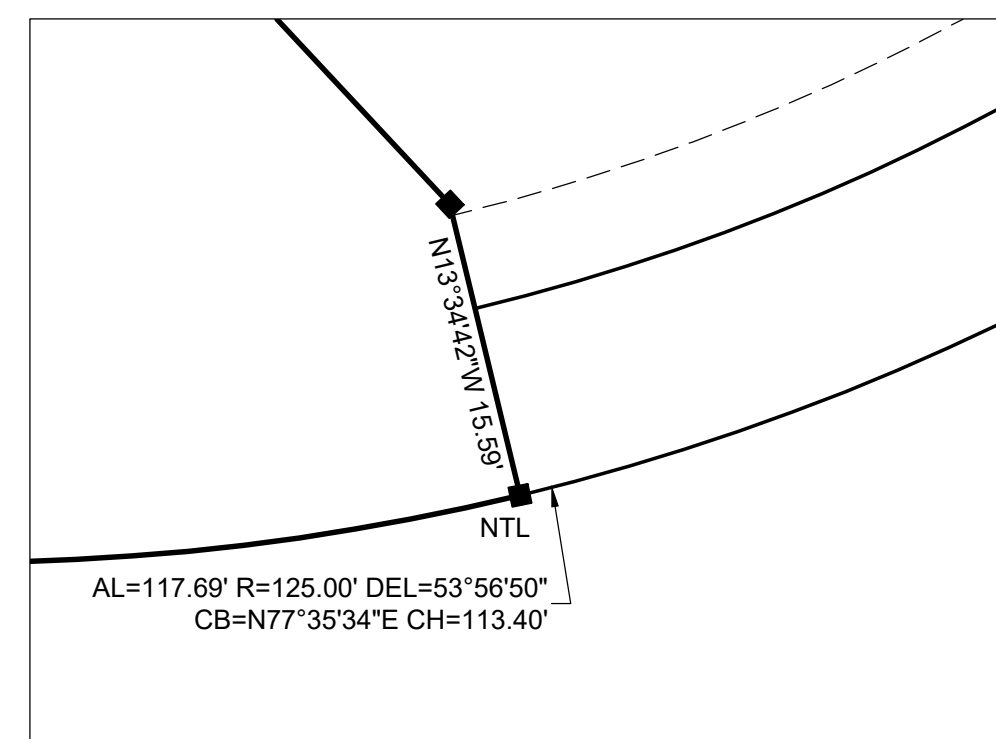
- * MINUTES/FEET
- * SECONDS/INCHES
- * DEGREES
- AC ACRES
- AL ARC LENGTH
- BOC BEGINNING OF CURVE
- CB CHORD BEARING
- CH CHORD LENGTH
- CM CONCRETE MONUMENT
- DE PRIVATE DRAINAGE EASEMENT
- DEL CENTRAL/Delta ANGLE
- E EAST
- EOC END OF CURVE
- EX EXISTING
- FBRL FRONT BUILDING RESTRICTION LINE
- FD FOUND
- FT FOOT/FEET
- N NORTH
- NR NON-RADIAL
- NTS NOT TO SCALE
- NTI NON-TANGENT INTERSECTION

ABBREVIATIONS

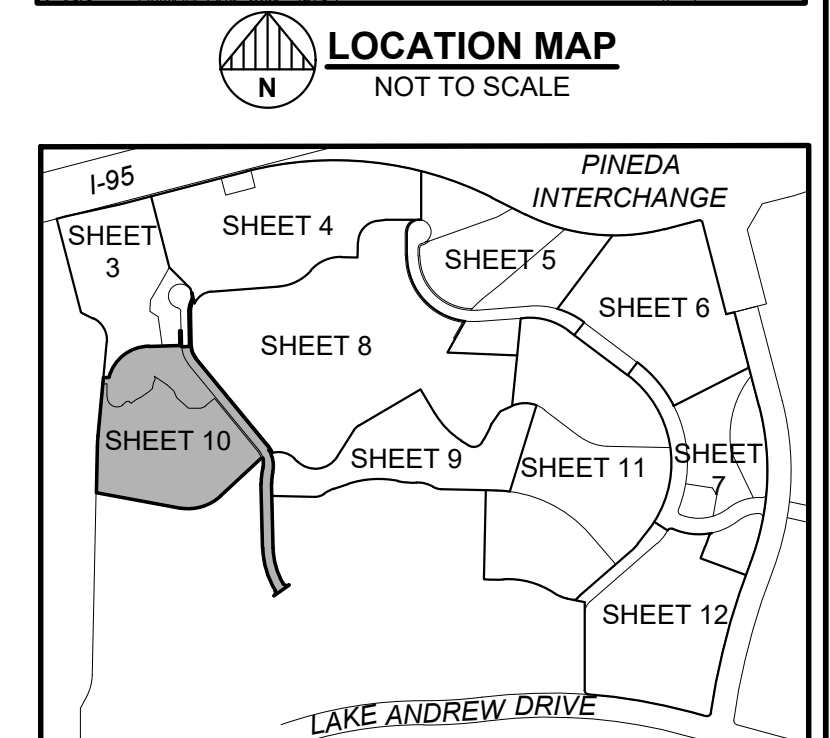
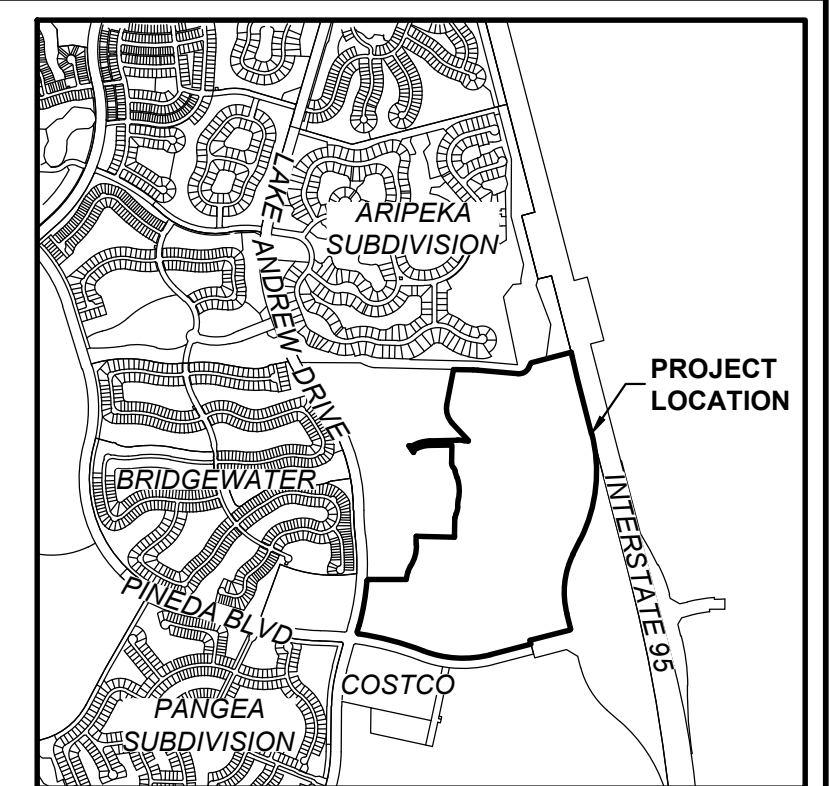
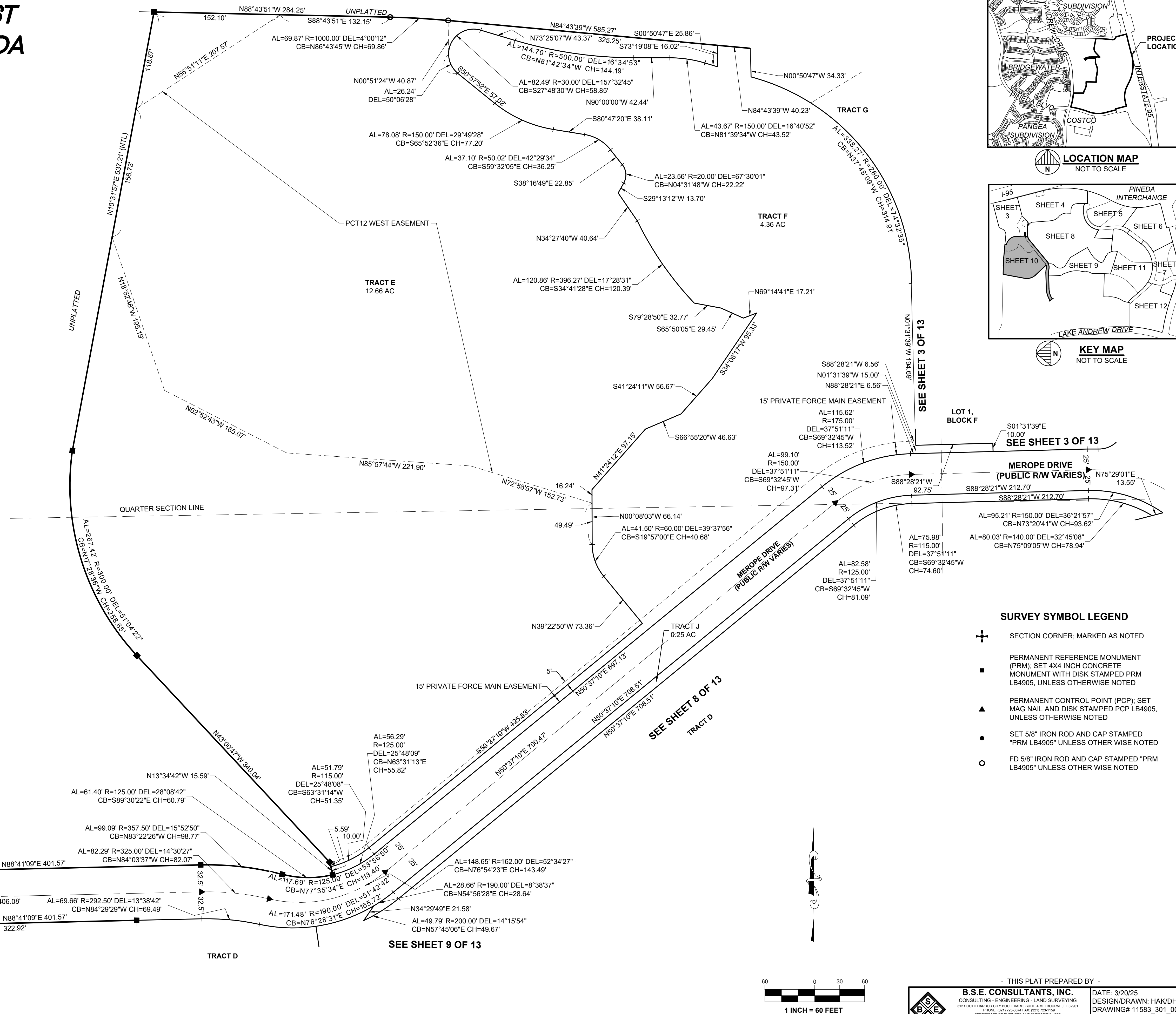
- NTL NON-TANGENT LINE
- OR/ORB OFFICIAL RECORDS BOOK
- PB PLAT BOOK
- PCC POINT OF COMPOUND CURVATURE
- PCP PERMANENT CONTROL POINT
- PCT PREFERRED COVER TYPE
- PKD PARKER-KALEN NAIL AND DISK
- PG(S) PAGE(S)
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PRC POINT OF REVERSE CURVATURE
- P.S.E. PUBLIC SIDEWALK EASEMENT
- P.U.D. PLANNED UNIT DEVELOPMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- R RADIUS
- R/W RIGHT-OF-WAY
- S SOUTH
- SE PRIVATE SIDEWALK EASEMENT
- TYP TYPICAL
- VSD VIERA STEWARDSHIP DISTRICT
- W WEST



DETAIL L (SEE SHEET 2)
1" = 10"

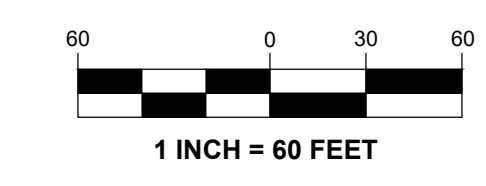


DETAIL M (SEE SHEET 2)
1" = 10"



KEY MAP
NOT TO SCALE

- ### SURVEY SYMBOL LEGEND
- ⊕ SECTION CORNER, MARKED AS NOTED
 - PERMANENT REFERENCE MONUMENT (PRM); SET 4X4 INCH CONCRETE MONUMENT WITH DISK STAMPED PRM LB4905, UNLESS OTHERWISE NOTED
 - ▲ PERMANENT CONTROL POINT (PCP); SET MAG NAIL AND DISK STAMPED PCP LB4905, UNLESS OTHERWISE NOTED
 - SET 5/8" IRON ROD AND CAP STAMPED "PRM LB4905" UNLESS OTHERWISE NOTED
 - FD 5/8" IRON ROD AND CAP STAMPED "PRM LB4905" UNLESS OTHERWISE NOTED



THIS PLAT PREPARED BY -

B.S.E. CONSULTANTS, INC.
CONSULTING - ENGINEERING - LAND SURVEYING
312 SOUTH HARBOR CITY BOULEVARD, SUITE 400, BOCA RATON, FL 33431
PHONE: (561) 725-3874 FAX: (561) 725-1109
CERTIFICATE OF BUSINESS AUTHORIZATION #00000000
CERTIFICATE OF LAND SURVEYING BUSINESS AUTHORIZATION: LB0004905

DATE: 3/20/25
DESIGN/DRAWN: HAK/DHF
DRAWING# 11583_301_001
PROJECT# 11583

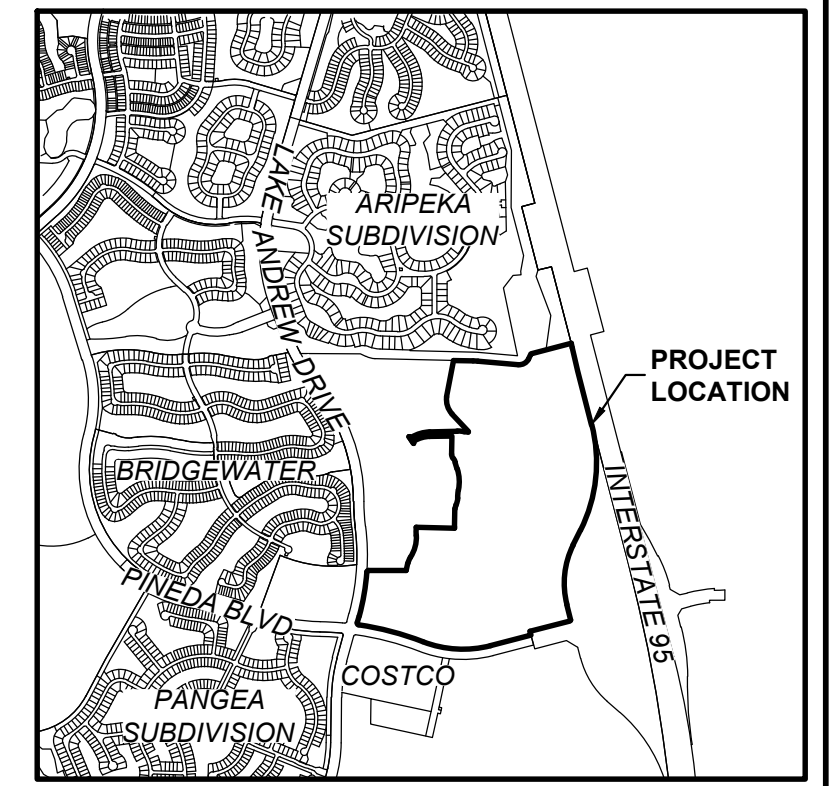
HP\Projects\Folder11583\Drawings\11583_301_001_3-20-25.dwg March 20, 2025, 3:05:11 PM d

VILLAGE 2 NEIGHBORHOOD 2 - PHASE 2

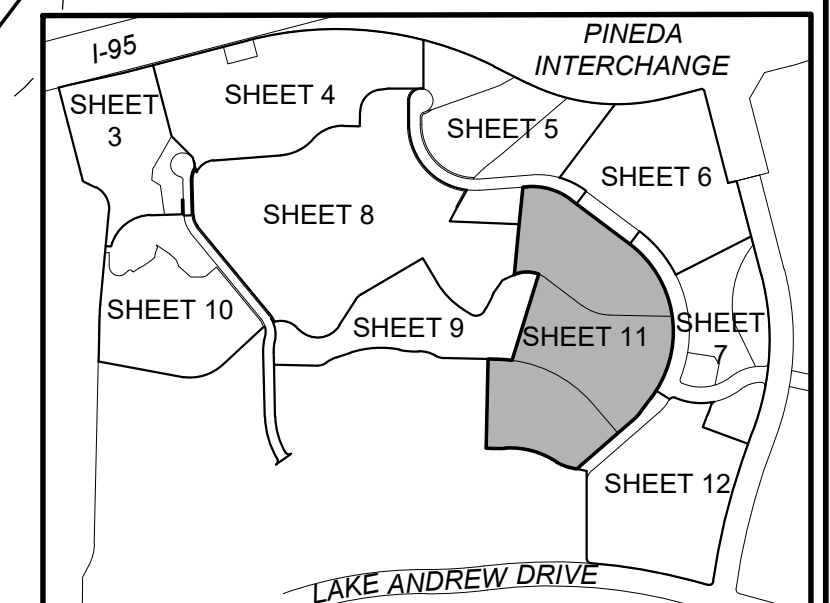
SECTIONS 22 AND 27, TOWNSHIP 26 SOUTH, RANGE 36 EAST

BREVARD COUNTY, FLORIDA

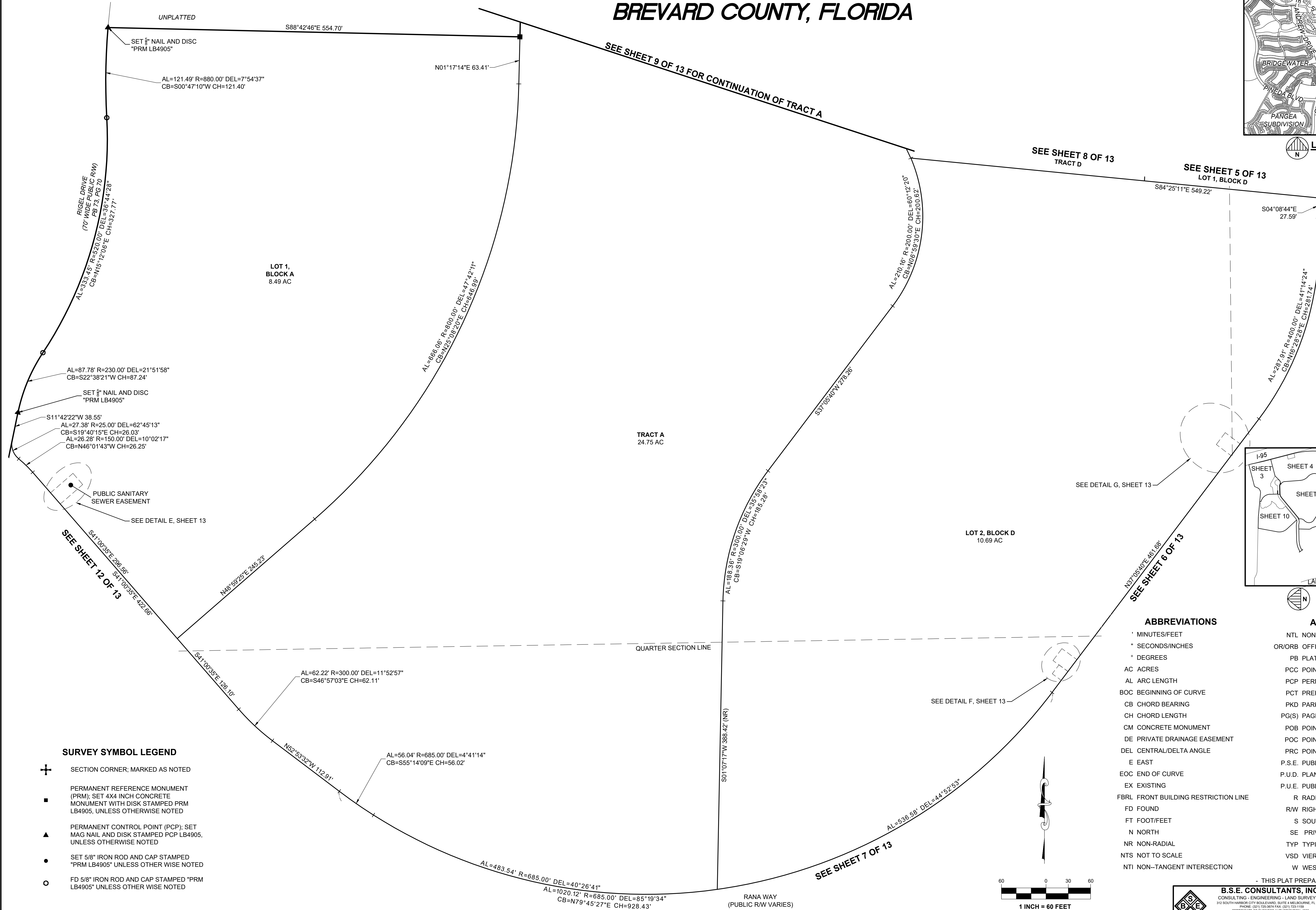
PLAT BOOK _____, PAGE _____
 SHEET 11 OF 13
 SECTIONS 22 AND 27, TOWNSHIP 26 SOUTH, RANGE 36 EAST



LOCATION MAP
 NOT TO SCALE



KEY MAP
 NOT TO SCALE



SURVEY SYMBOL LEGEND

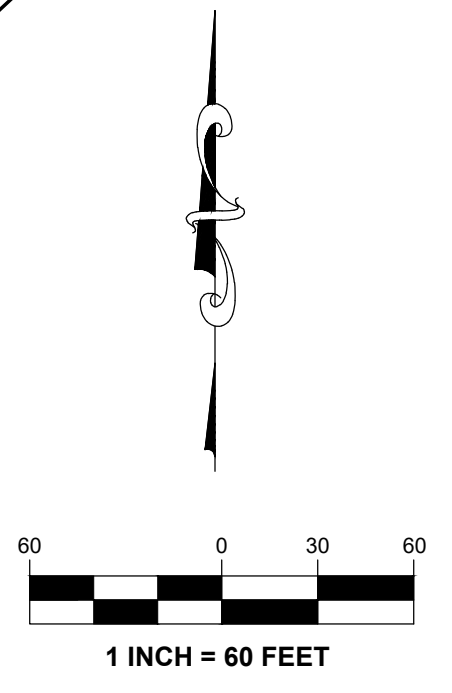
- ⊕ SECTION CORNER, MARKED AS NOTED
- PERMANENT REFERENCE MONUMENT (PRM); SET 4X4 INCH CONCRETE MONUMENT WITH DISK STAMPED PRM LB4905, UNLESS OTHERWISE NOTED
- ▲ PERMANENT CONTROL POINT (PCP); SET MAG NAIL AND DISK STAMPED PCP LB4905, UNLESS OTHERWISE NOTED
- SET 5/8" IRON ROD AND CAP STAMPED *PRM LB4905* UNLESS OTHERWISE NOTED
- FD 5/8" IRON ROD AND CAP STAMPED *PRM LB4905* UNLESS OTHERWISE NOTED

ABBREVIATIONS

- * MINUTES/FEET
- " SECONDS/INCHES
- ° DEGREES
- AC ACRES
- AL ARC LENGTH
- BOC BEGINNING OF CURVE
- CB CHORD BEARING
- CH CHORD LENGTH
- CM CONCRETE MONUMENT
- DE PRIVATE DRAINAGE EASEMENT
- DEL CENTRAL/DELTA ANGLE
- E EAST
- EOC END OF CURVE
- EX EXISTING
- FBRL FRONT BUILDING RESTRICTION LINE
- FD FOUND
- FT FOOT/FEET
- N NORTH
- NR NON-RADIAL
- NTS NOT TO SCALE
- NTI NON-TANGENT INTERSECTION

ABBREVIATIONS

- NTL NON-TANGENT LINE
- OR/ORB OFFICIAL RECORDS BOOK
- PB PLAT BOOK
- PCC POINT OF COMPOUND CURVATURE
- PCP PERMANENT CONTROL POINT
- PCT PREFERRED COVER TYPE
- PKD PARKER-KALEN NAIL AND DISK
- PG(S) PAGE(S)
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PRC POINT OF REVERSE CURVATURE
- P.S.E. PUBLIC SIDEWALK EASEMENT
- P.U.D. PLANNED UNIT DEVELOPMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- R RADIUS
- R/W RIGHT-OF-WAY
- S SOUTH
- SE PRIVATE SIDEWALK EASEMENT
- TYP TYPICAL
- VSD VIERA STEWARDSHIP DISTRICT
- W WEST



H:\Projects\Files\11583\Drawings\11583_30111_883_30111_3-20-25.dwg March 20, 2025, 3:06:00 PM df

- THIS PLAT PREPARED BY -

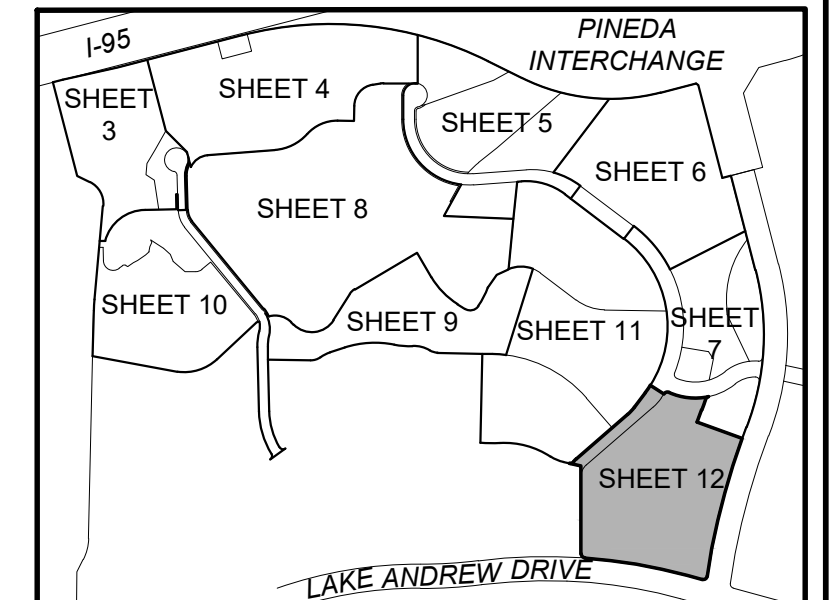
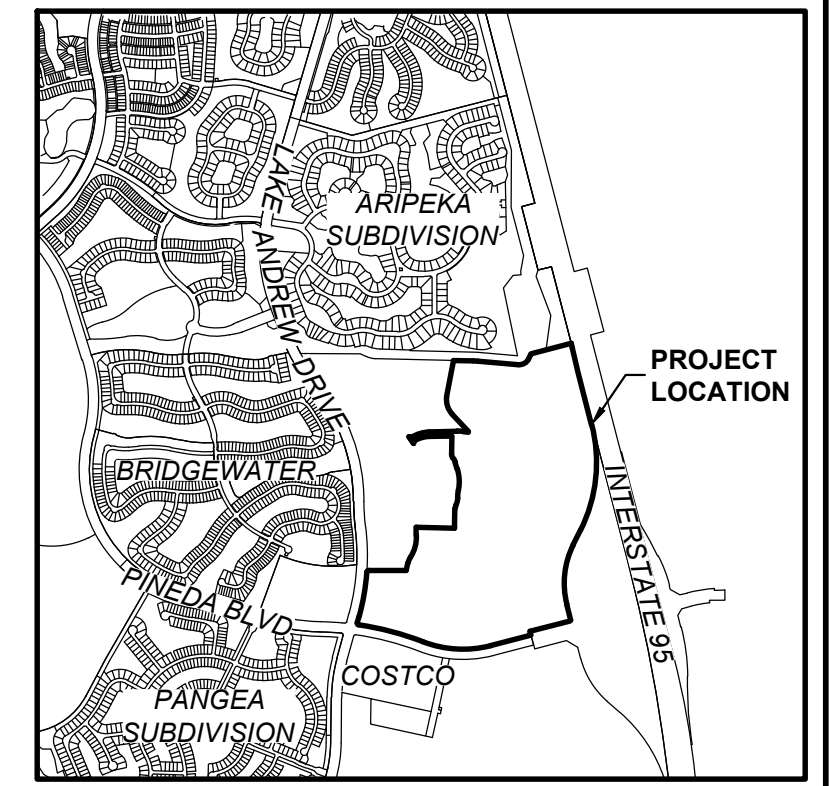
	B.S.E. CONSULTANTS, INC. CONSULTING - ENGINEERING - LAND SURVEYING 312 SOUTH HARBOR CITY BOULEVARD, SUITE 400, DEERFIELD BEACH, FL 33441 PHONE: (561) 725-3874 FAX: (561) 725-1159 CERTIFICATE OF BUSINESS AUTHORIZATION #0000000000	DATE: 3/20/25 DESIGN/DRAWN: HAK/DHF DRAWING# 11583_301_001 PROJECT# 11583

VILLAGE 2 NEIGHBORHOOD 2 - PHASE 2

SECTIONS 22 AND 27, TOWNSHIP 26 SOUTH, RANGE 36 EAST

BREVARD COUNTY, FLORIDA

PLAT BOOK _____, PAGE _____
 SHEET 12 OF 13
 SECTIONS 22 AND 27, TOWNSHIP 26 SOUTH, RANGE 36 EAST



SURVEY SYMBOL LEGEND

- ⊕ SECTION CORNER; MARKED AS NOTED
- PERMANENT REFERENCE MONUMENT (PRM); SET 4X4 INCH CONCRETE MONUMENT WITH DISK STAMPED PRM LB4905, UNLESS OTHERWISE NOTED
- ▲ PERMANENT CONTROL POINT (PCP); SET MAG NAIL AND DISK STAMPED PCP LB4905, UNLESS OTHERWISE NOTED
- SET 5/8" IRON ROD AND CAP STAMPED "PRM LB4905" UNLESS OTHERWISE NOTED
- FD 5/8" IRON ROD AND CAP STAMPED "PRM LB4905" UNLESS OTHERWISE NOTED

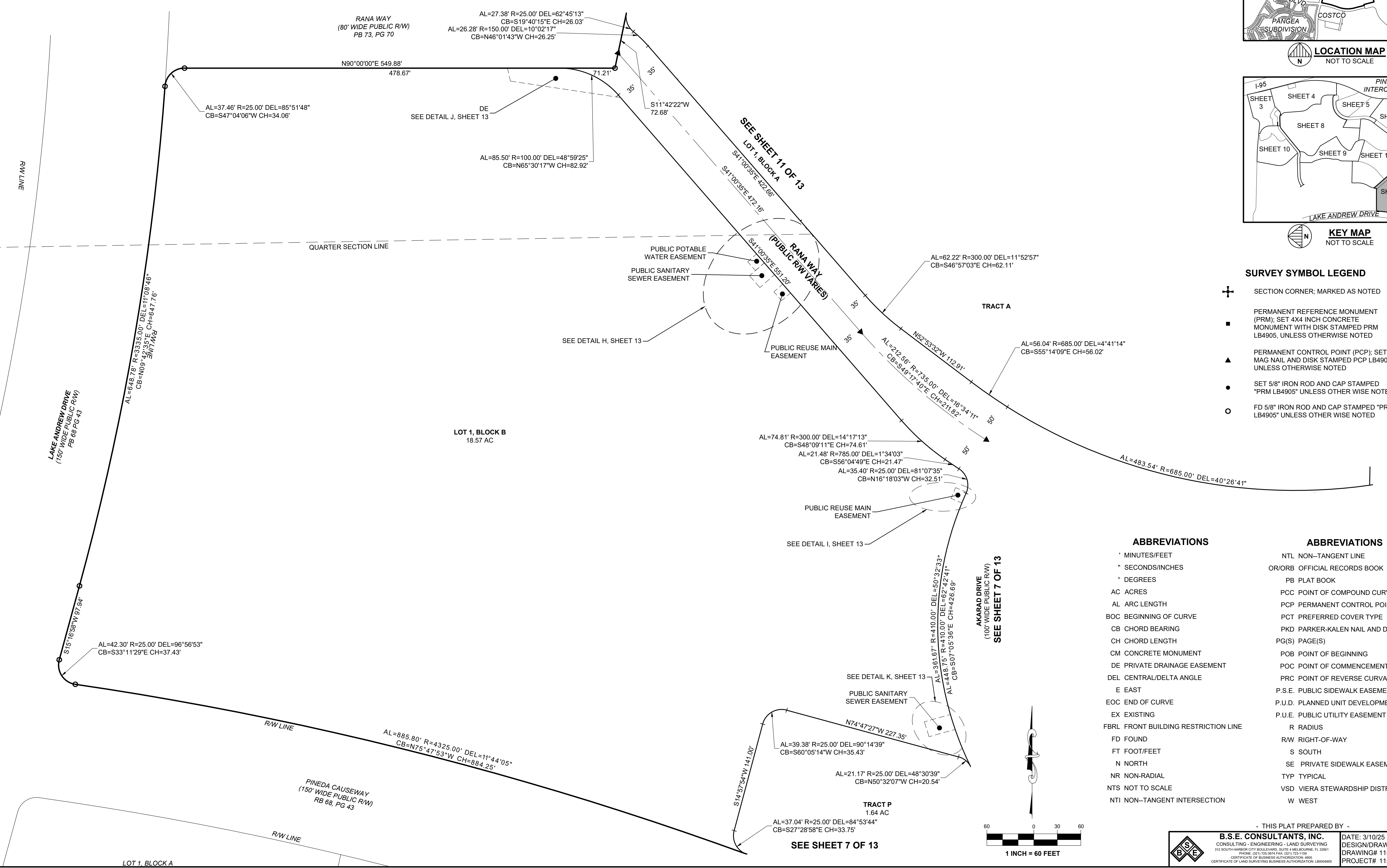
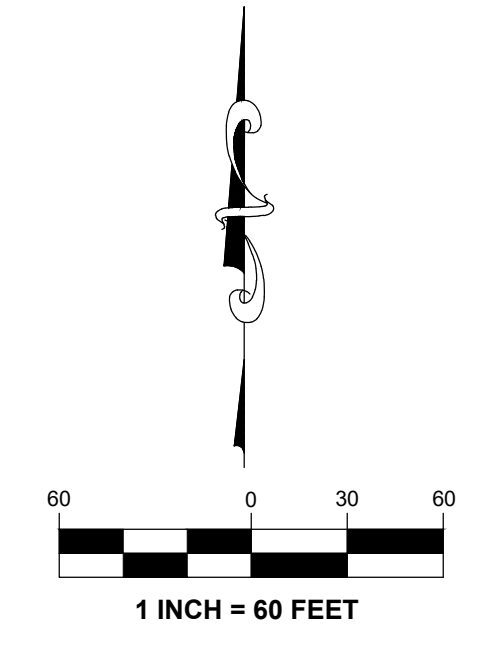
ABBREVIATIONS

- ' MINUTES/FEET
- " SECONDS/INCHES
- ° DEGREES
- AC ACRES
- AL ARC LENGTH
- BOC BEGINNING OF CURVE
- CB CHORD BEARING
- CH CHORD LENGTH
- CM CONCRETE MONUMENT
- DE PRIVATE DRAINAGE EASEMENT
- DEL CENTRAL/DELTA ANGLE
- E EAST
- EOC END OF CURVE
- EX EXISTING
- FBRL FRONT BUILDING RESTRICTION LINE
- FD FOUND
- FT FOOT/FEET
- N NORTH
- NR NON-RADIAL
- NTS NOT TO SCALE
- NTI NON-TANGENT INTERSECTION

ABBREVIATIONS

- NTL NON-TANGENT LINE
- OR/ORB OFFICIAL RECORDS BOOK
- PB PLAT BOOK
- PCC POINT OF COMPOUND CURVATURE
- PCP PERMANENT CONTROL POINT
- PCT PREFERRED COVER TYPE
- PKD PARKER-KALEN NAIL AND DISK
- PG(S) PAGE(S)
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PRC POINT OF REVERSE CURVATURE
- P.S.E. PUBLIC SIDEWALK EASEMENT
- P.U.D. PLANNED UNIT DEVELOPMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- R RADIUS
- R/W RIGHT-OF-WAY
- S SOUTH
- SE PRIVATE SIDEWALK EASEMENT
- TYP TYPICAL
- VSD VIERA STEWARDSHIP DISTRICT
- W WEST

AKARAD DRIVE
 (100' WIDE PUBLIC R/W)
 SEE SHEET 7 OF 13



H:\Projects\Files\11583\Drawings\11583_301_001.dwg March 10, 2025 10:12:50 AM dk

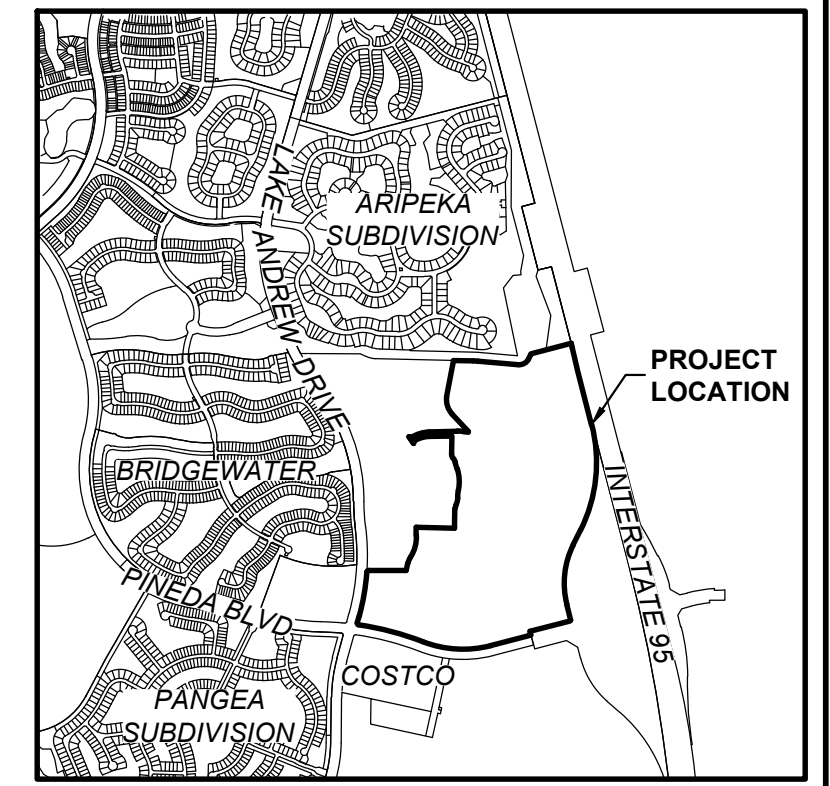
- THIS PLAT PREPARED BY -

	B.S.E. CONSULTANTS, INC. CONSULTING - ENGINEERING - LAND SURVEYING 312 SOUTH HARBOR CITY BOULEVARD, SUITE 400 BOCA RATON, FL 33491 PHONE: (561) 725-3874 FAX: (561) 725-1109 CERTIFICATE OF BUSINESS AUTHORIZATION #0000000000	DATE: 3/10/25 DESIGN/DRAWN: HAK/DHF DRAWING# 11583_301_001 PROJECT# 11583

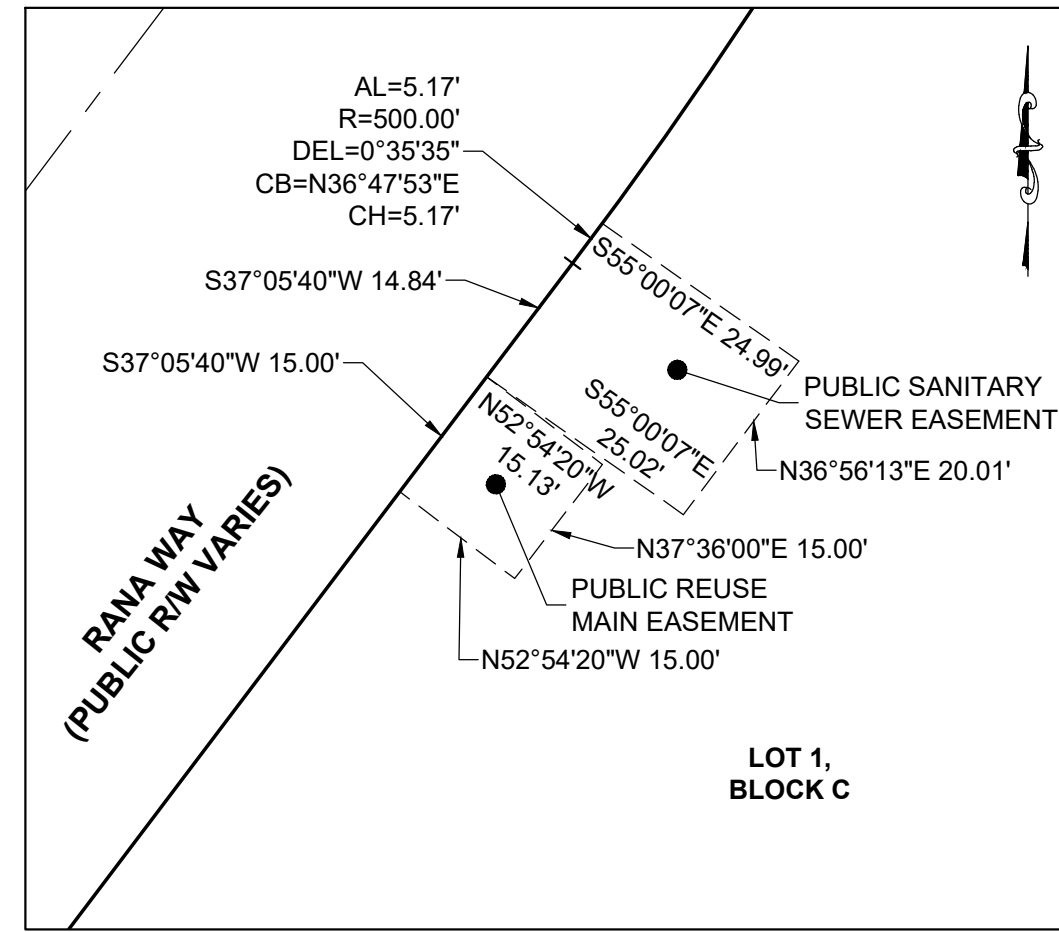
VILLAGE 2 NEIGHBORHOOD 2 - PHASE 2

SECTIONS 22 AND 27, TOWNSHIP 26 SOUTH, RANGE 36 EAST

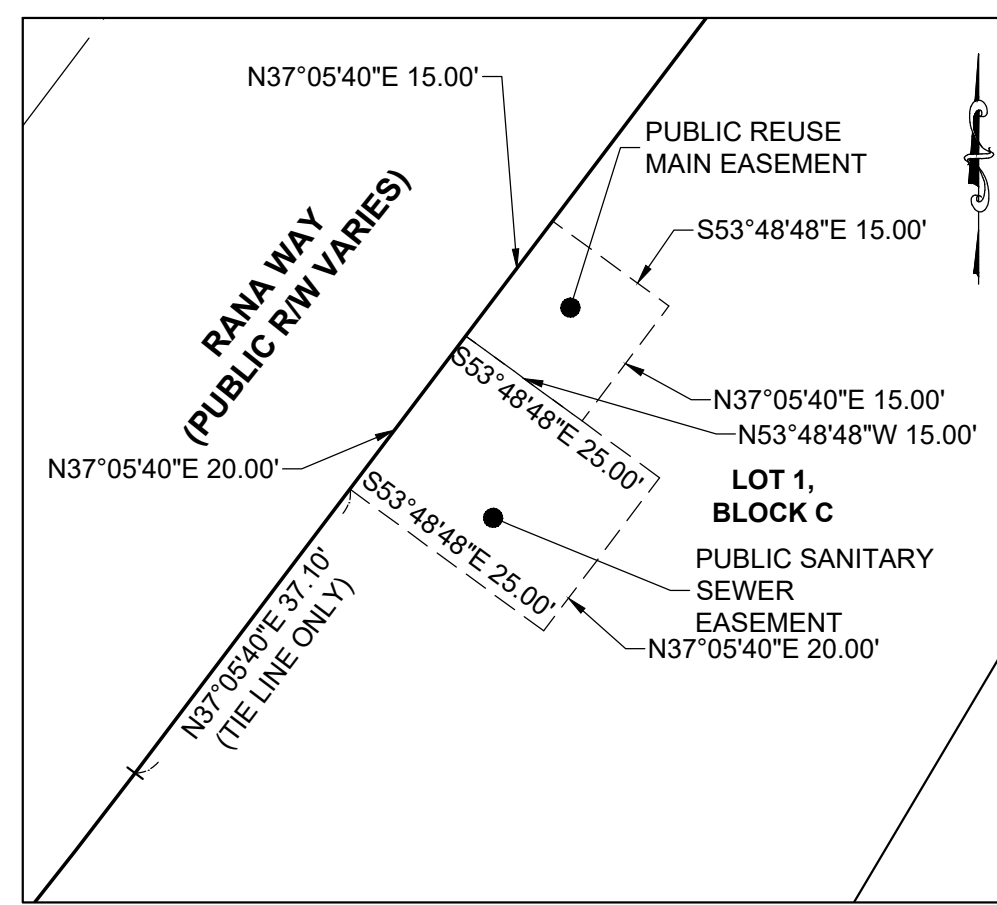
BREVARD COUNTY, FLORIDA



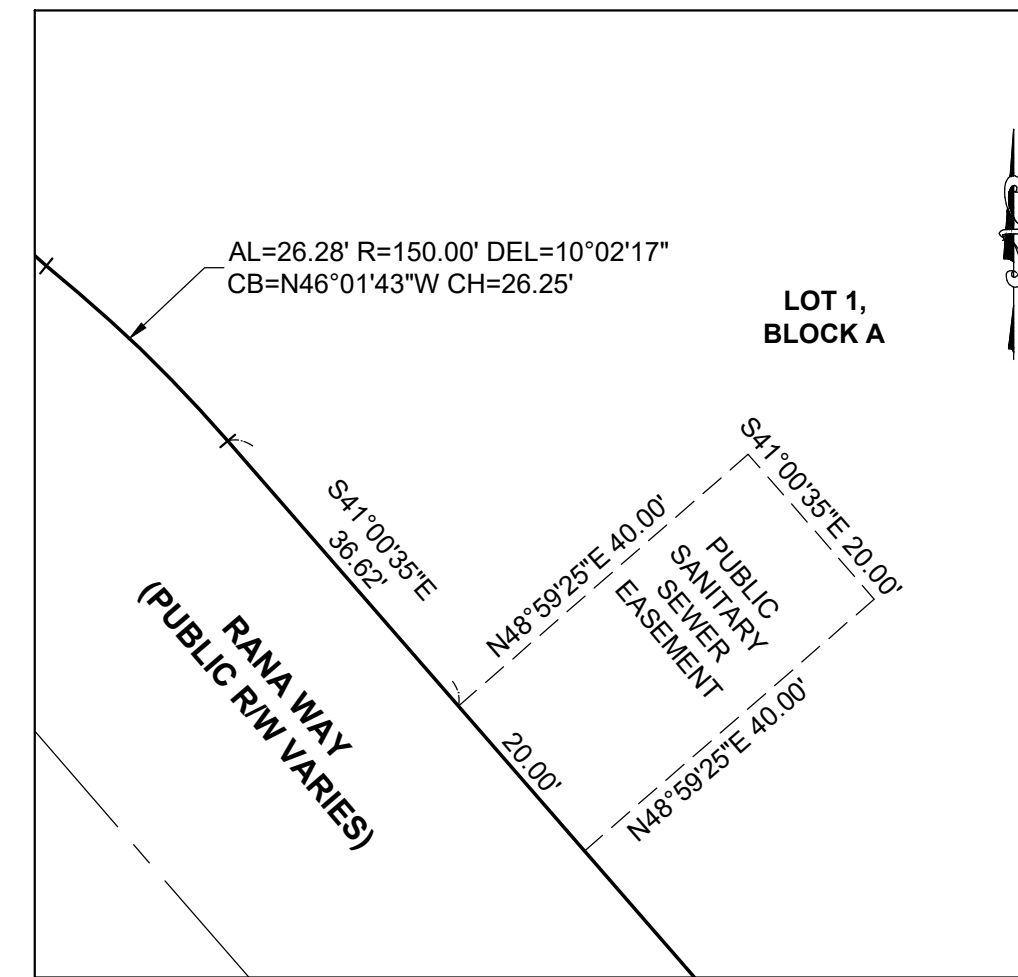
LOCATION MAP
 NOT TO SCALE



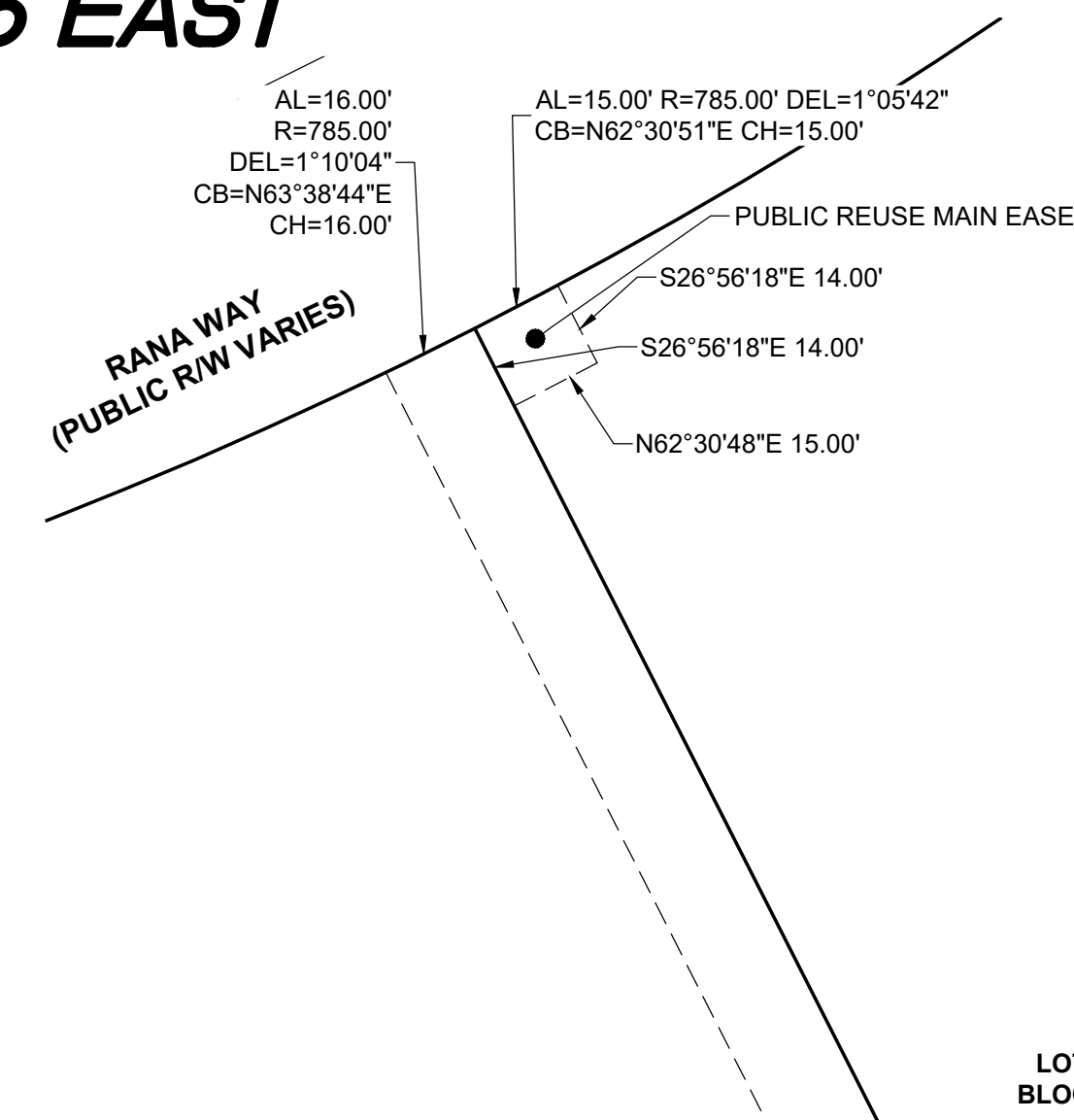
DETAIL A, PUBLIC REUSE MAIN AND PUBLIC SANITARY SEWER EASEMENTS (SEE SHEET 6)
 1" = 20'



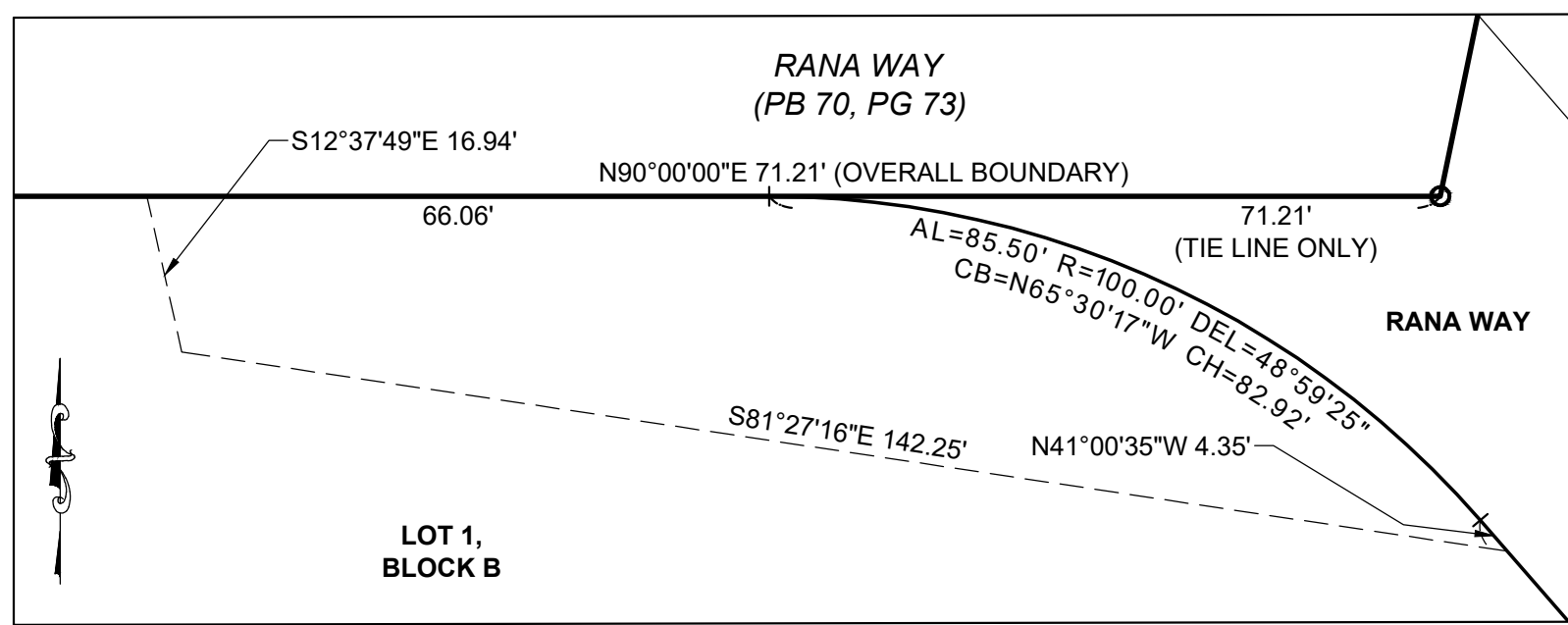
DETAIL B, PUBLIC REUSE MAIN AND PUBLIC SANITARY SEWER EASEMENTS (SEE SHEET 6)
 1" = 20'



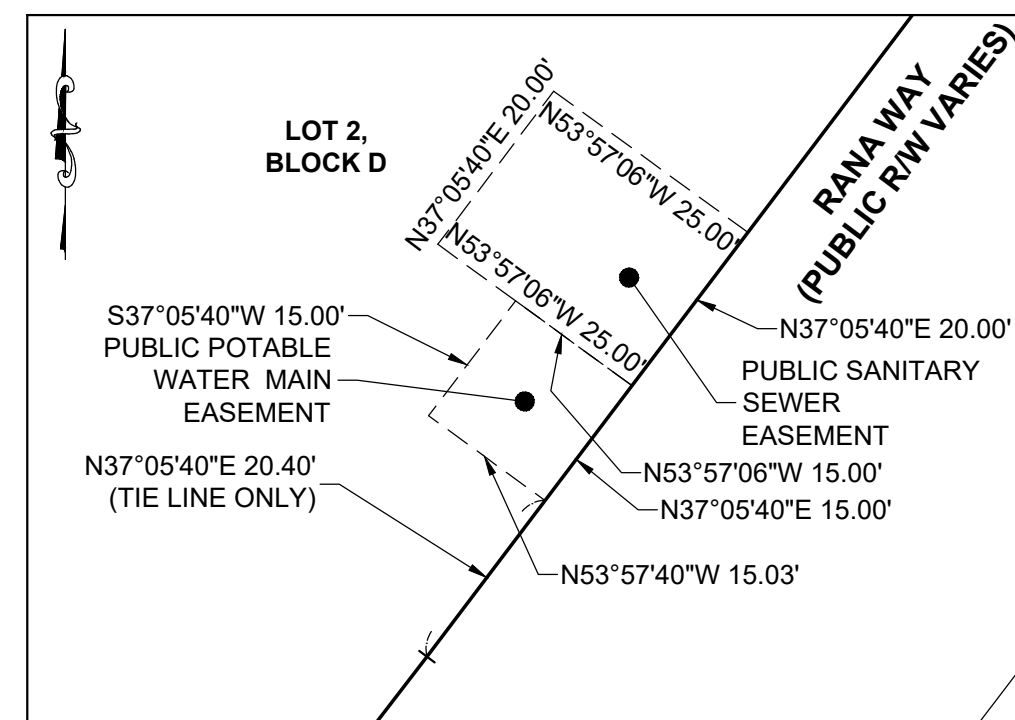
DETAIL E, PUBLIC SANITARY SEWER EASEMENT (SEE SHEET 11)
 1" = 20'



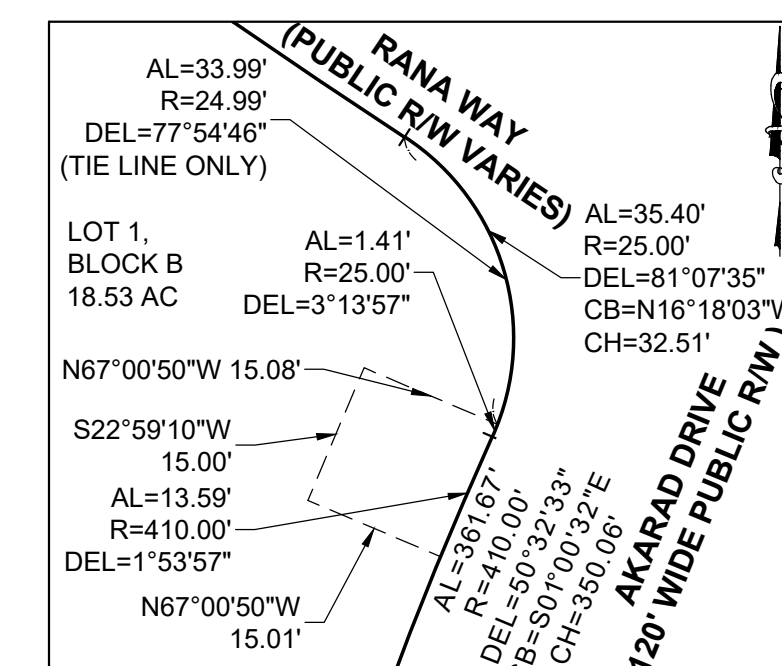
DETAIL C, PUBLIC REUSE MAIN, EXISTING PUBLIC SIDEWALK AND 12' PUBLIC SIDEWALK EASEMENTS (SEE SHEETS 6 AND 7)
 1" = 30'



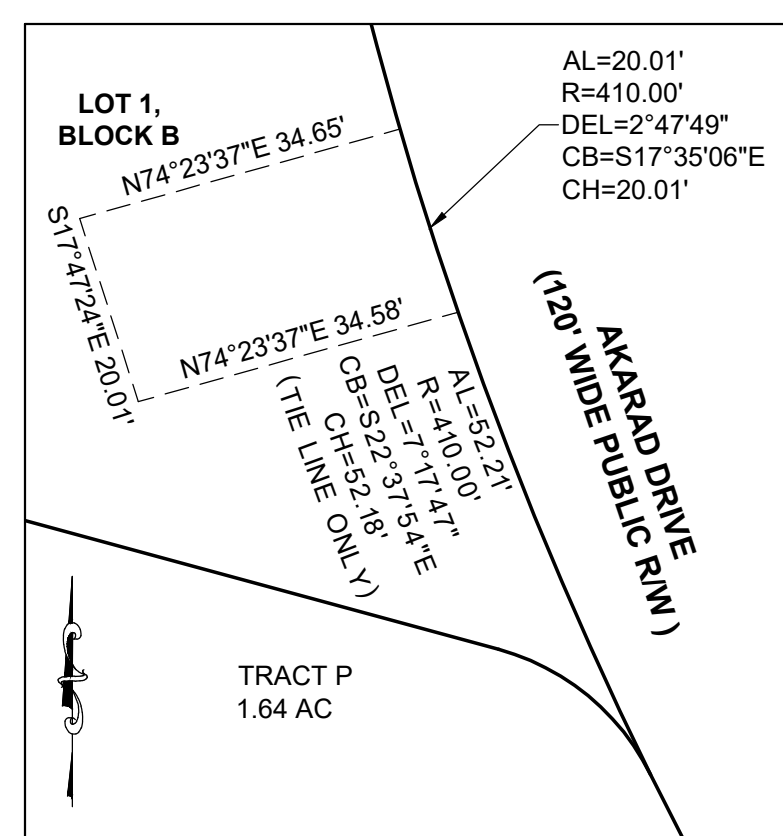
DETAIL J, PUBLIC DRAINAGE EASEMENT (SEE SHEET 12)
 1" = 20'



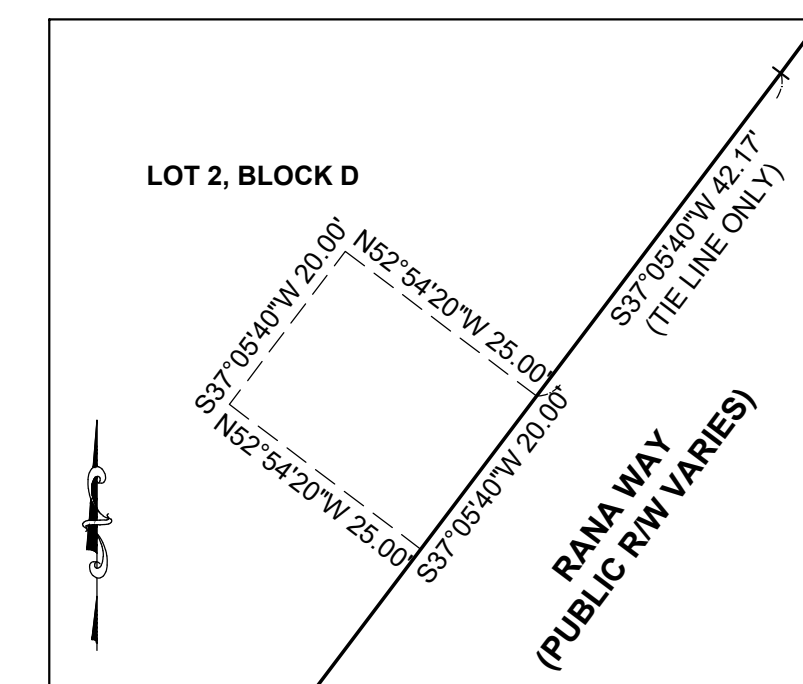
DETAIL F, PUBLIC POTABLE WATER MAIN AND SANITARY SEWER EASEMENTS (SEE SHEET 11)
 1" = 20'



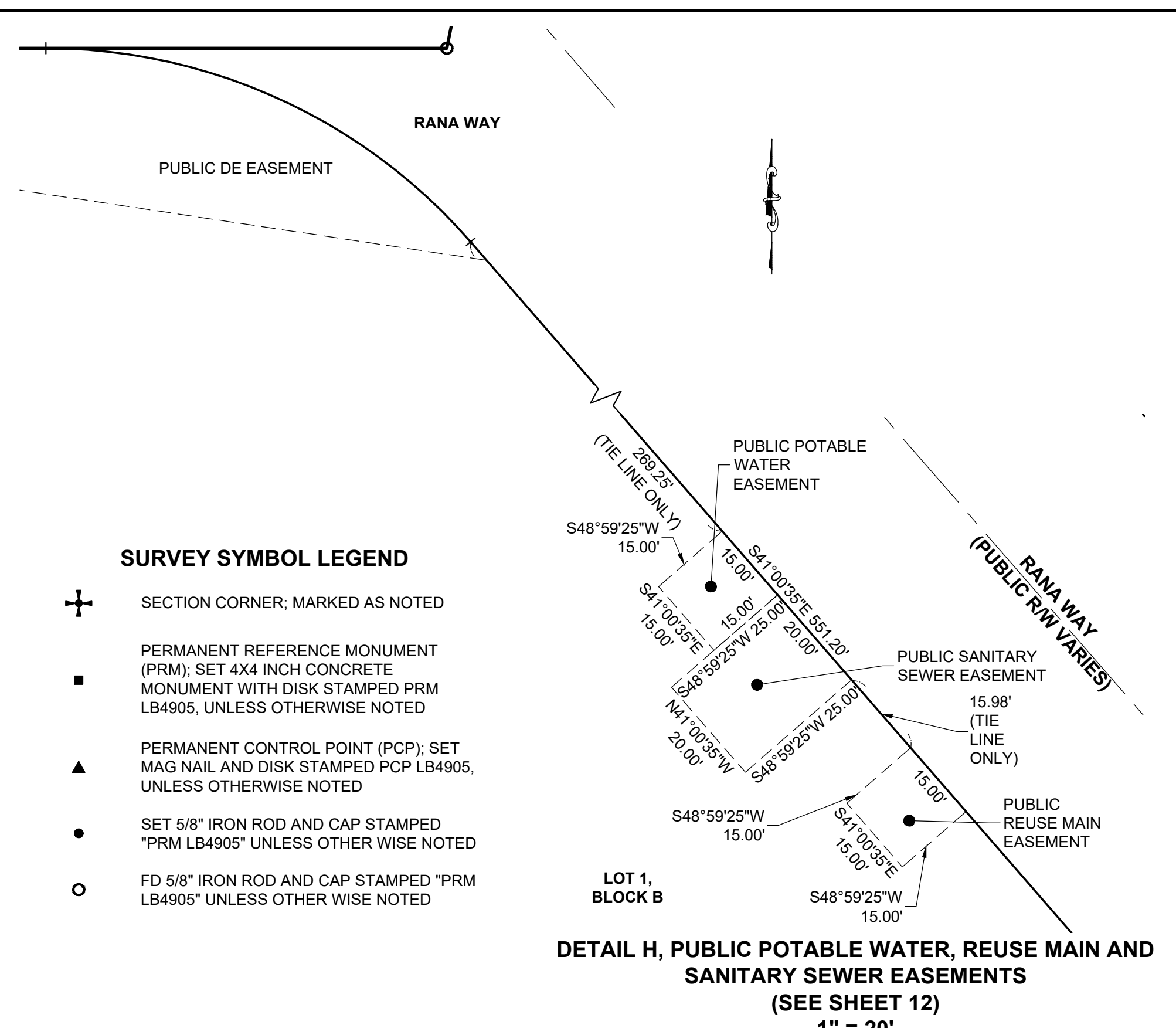
DETAIL I, PUBLIC REUSE MAIN EASEMENT (SEE SHEET 12)
 1" = 20'



DETAIL K, PUBLIC SANITARY SEWER EASEMENT (SEE SHEET 12)
 1" = 20'



DETAIL G, PUBLIC SANITARY SEWER EASEMENT (SEE SHEET 11)
 1" = 20'



DETAIL H, PUBLIC POTABLE WATER, REUSE MAIN AND SANITARY SEWER EASEMENTS (SEE SHEET 12)
 1" = 20'

ABBREVIATIONS

- * MINUTES/FEET
- * SECONDS/INCHES
- * DEGREES
- AC ACRES
- AL ARC LENGTH
- BOC BEGINNING OF CURVE
- CB CHORD BEARING
- CH CHORD LENGTH
- CM CONCRETE MONUMENT
- DE PRIVATE DRAINAGE EASEMENT
- DEL CENTRAL/DELTA ANGLE
- E EAST
- EOC END OF CURVE
- EX EXISTING
- FBRL FRONT BUILDING RESTRICTION LINE
- FD FOUND
- FT FOOT/FEET
- N NORTH
- NR NON-RADIAL
- NTS NOT TO SCALE
- NTI NON-TANGENT INTERSECTION

ABBREVIATIONS

- NTL NON-TANGENT LINE
- OR/ORB OFFICIAL RECORDS BOOK
- PB PLAT BOOK
- PCC POINT OF COMPOUND CURVATURE
- PCP PERMANENT CONTROL POINT
- PCT PREFERRED COVER TYPE
- PKD PARKER-KALEN NAIL AND DISK
- PG(S) PAGE(S)
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PRC POINT OF REVERSE CURVATURE
- P.S.E. PUBLIC SIDEWALK EASEMENT
- P.U.D. PLANNED UNIT DEVELOPMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- R RADIUS
- R/W RIGHT-OF-WAY
- S SOUTH
- SE PRIVATE SIDEWALK EASEMENT
- TYP TYPICAL
- VSD VIERA STEWARDSHIP DISTRICT
- W WEST

SURVEY SYMBOL LEGEND

- ⊕ SECTION CORNER; MARKED AS NOTED
- PERMANENT REFERENCE MONUMENT (PRM); SET 4X4 INCH CONCRETE MONUMENT WITH DISK STAMPED PRM LB4905, UNLESS OTHERWISE NOTED
- ▲ PERMANENT CONTROL POINT (PCP); SET MAG NAIL AND DISK STAMPED PCP LB4905, UNLESS OTHERWISE NOTED
- SET 5/8" IRON ROD AND CAP STAMPED "PRM LB4905" UNLESS OTHERWISE NOTED
- FD 5/8" IRON ROD AND CAP STAMPED "PRM LB4905" UNLESS OTHERWISE NOTED

H:\Projects\Folder11583\Drawings\11583_301\11583_301.dwg March 10, 2025 10:13:07 AM ak