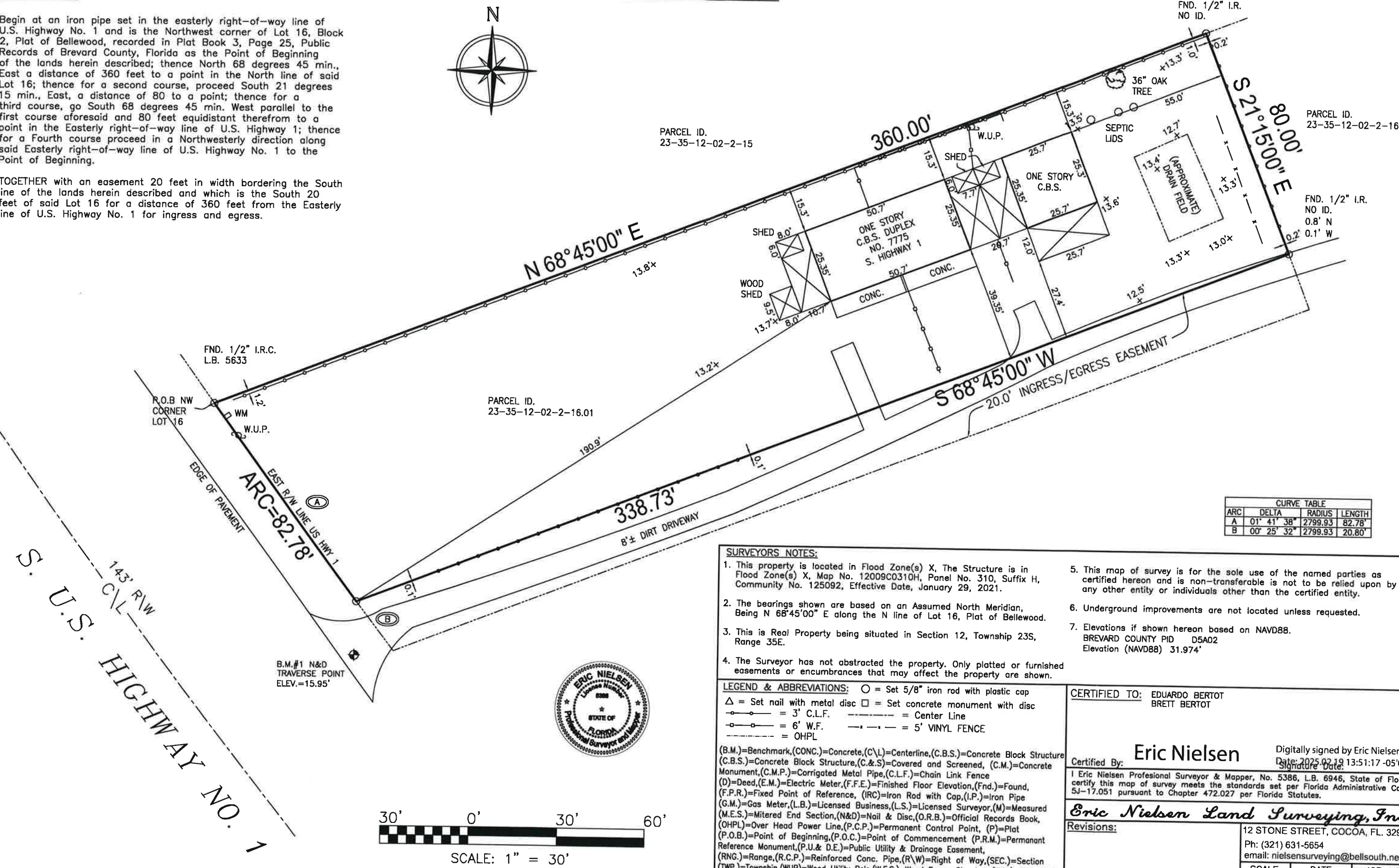


DESCRIPTION:

Begin at an iron pipe set in the easterly right-of-way line of U.S. Highway No. 1 and is the Northwest corner of Lot 16, Block 2, Plat of Bellewood, recorded in Plat Book 3, Page 25, Public Records of Brevard County, Florida as the Point of Beginning of the lands herein described; thence North 68 degrees 45 min., East a distance of 360 feet to a point in the North line of said Lot 16; thence for a second course, proceed South 21 degrees 15 min., East, a distance of 80 to a point; thence for a third course, go South 68 degrees 45 min. West parallel to the first course aforesaid and 80 feet equidistant therefrom to a point in the Easterly right-of-way line of U.S. Highway 1; thence for a Fourth course proceed in a Northwesternly direction along said Easterly right-of-way line of U.S. Highway No. 1 to the Point of Beginning.

TOGETHER with an easement 20 feet in width bordering the South line of the lands herein described and which is the South 20 feet of said Lot 16 for a distance of 360 feet from the Easterly line of U.S. Highway No. 1 for ingress and egress.

MAP OF BOUNDARY SURVEY



CURVE TABLE			
ARC	DELTA	RADIUS	LENGTH
A	01° 41' 38"	2799.93	82.78'
B	00° 25' 32"	2799.93	20.80'

SURVEYORS NOTES:

- This property is located in Flood Zone(s) X, The Structure is in Flood Zone(s) X, Map No. 12009C0310H, Panel No. 310, Suffix H, Community No. 125092, Effective Date, January 29, 2021.
- The bearings shown are based on an Assumed North Meridian, Being N 68°45'00" E along the N line of Lot 16, Plat of Bellewood.
- This is Real Property being situated in Section 12, Township 23S, Range 35E.
- The Surveyor has not abstracted the property. Only platted or furnished easements or encumbrances that may affect the property are shown.
- This map of survey is for the sole use of the named parties as certified hereon and is non-transferable is not to be relied upon by any other entity or individuals other than the certified entity.
- Underground improvements are not located unless requested.
- Elevations if shown hereon based on NAVD88, BREVARD COUNTY PID D5A02 Elevation (NAVD88) 31.974'

LEGEND & ABBREVIATIONS:

- = Set 5/8" iron rod with plastic cap
△ = Set nail with metal disc □ = Set concrete monument with disc
— = 3' C.L.F. — = Center Line
— = 6' W.F. — = 5' VINYL FENCE
— = OHPL
- (B.M.)=Benchmark,(CONC.)=Concrete,(C.L.)=Centerline,(C.B.S.)=Concrete Block Structure
(C.B.S.)=Concrete Block Structure,(C.&S.)=Covered and Screened,(C.M.)=Concrete Monument,(C.M.P.)=Corrugated Metal Pipe,(C.L.F.)=Chain Link Fence
(D)=Deed,(E.M.)=Electric Meter,(F.F.E.)=Finished Floor Elevation,(Fnd.)=Found,(F.P.R.)=Fixed Point of Reference,(IRC)=Iron Rod with Cap,(I.P.)=Iron Pipe
(G.M.)=Gas Meter,(L.B.)=Licensed Business,(L.S.)=Licensed Surveyor,(M)=Measured
(M.E.S.)=Mitered End Section,(N&D)=Nail & Disc,(O.R.B.)=Official Records Book,
(OHPL)=Over Head Power Line,(P.C.P.)=Permanent Control Point,(P)=Plat
(P.O.B.)=Point of Beginning,(P.O.C.)=Point of Commencement (P.R.M.)=Permanent Reference Monument,(P.U. & D.E.)=Public Utility & Drainage Easement,
(RNG.)=Range,(R.C.P.)=Reinforced Conc. Pipe,(R\W)=Right of Way,(SEC.)=Section
(TWP.)=Township,(WUP)=Wood Utility Pole,(W.F.S.)=Wood Frame Structure,(W.M.)=Water Meter

CERTIFIED TO: EDUARDO BERTOT
BRETT BERTOT

Certified By: Eric Nielsen Digitally signed by Eric Nielsen
Date: 2025.02.19 13:51:17 -05'00'

I Eric Nielsen Professional Surveyor & Mapper, No. 5386, L.B. 6946, State of Florida certify this map of survey meets the standards set per Florida Administrative Code 5J-17.051 pursuant to Chapter 472.027 per Florida Statutes.

Eric Nielsen Land Surveying, Inc.

Revisions: 12 STONE STREET, COCOA, FL. 32922

Ph: (321) 631-5654

email: nielsensurveying@bellsouth.net

SCALE: 1" = 30' DATE: 02-17-2025 JOB NO. 25-032-01