

Planned Unit Development
for
Sun Terra Lakes
Brevard County, FL

Legal Description:

BEING A PORTION OF SECTIONS 8, 9, 16 AND 17, TOWNSHIP 30 SOUTH, RANGE 37 EAST LYING IN BREVARD COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE EAST ONE-QUARTER CORNER OF SECTION 16, TOWNSHIP 30 SOUTH, RANGE 37 EAST; THENCE WESTERLY ALONG THE SOUTH LINE OF THE NORTH ONE-HALF OF SAID SECTION 16, SOUTH 89°35'24" WEST, 50.01 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE WESTERLY ALONG SAID SOUTH LINE OF THE NORTH ONE-HALF OF SECTION 16, SOUTH 89°35'24" WEST, 5372.81 FEET TO THE WEST ONE-QUARTER OF SAID SECTION 16; THENCE WESTERLY ALONG THE SOUTH LINE OF THE NORTHEAST ONE-QUARTER OF SECTION 17, TOWNSHIP 30 SOUTH, RANGE 37 EAST, SOUTH 89°35'24" WEST, 2711.24 FEET TO THE SOUTHWEST CORNER OF THE NORTHEAST ONE-QUARTER OF SAID SECTION 17; THENCE NORTHERLY ALONG THE WEST LINE OF THE NORTHEAST ONE-QUARTER OF SAID SECTION 17, NORTH 00°11'21" EAST, 2642.10 FEET TO THE NORTH ONE-QUARTER CORNER OF SAID SECTION 17; THENCE WESTERLY ALONG THE SOUTH LINE OF SECTION 8, TOWNSHIP 30 SOUTH, RANGE 37 EAST, SOUTH 89°31'23" WEST, 2642.79 FEET TO THE WEST LINE OF SAID SECTION 8; THENCE NORTHERLY ALONG SAID WEST LINE OF SECTION 8, NORTH 00°40'15" EAST, 2511.48 FEET TO A POINT 100.00 FEET SOUTH OF THE NORTH LINE OF THE SOUTH ONE-HALF OF SAID SECTION 8; THENCE EASTERLY ALONG A LINE 100.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF THE SOUTH ONE-HALF OF SAID SECTION 8, NORTH 89°29'13" EAST, 2650.82 FEET; THENCE CONTINUE EASTERLY ALONG SAID PARALLEL LINE, NORTH 89°23'59" EAST, 2658.46 FEET TO A POINT 100.00 FEET SOUTH OF THE WEST ONE-QUARTER CORNER OF SECTION 9, TOWNSHIP 30 SOUTH, RANGE 37 EAST; THENCE EASTERLY ALONG A LINE 100.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF THE SOUTH ONE-HALF OF SAID SECTION 9, NORTH 89°23'59" EAST, 3415.39 FEET; THENCE SOUTH 89°04'27" EAST, 1941.19 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF BABCOCK STREET AS DESCRIBED IN OFFICIAL RECORDS BOOK 423, PAGE 262 OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA; THENCE SOUTHERLY ALONG SAID WEST RIGHT OF WAY LINE, SOUTH 01°08'35" EAST, 2368.17 FEET; THENCE NORTH 90°00'00" WEST, 918.01 FEET; THENCE SOUTH 01°31'07" EAST, 1315.56 FEET; THENCE SOUTH 88°26'54" EAST, 873.58 FEET TO THE AFOREMENTIONED WEST RIGHT OF WAY LINE OF BABCOCK STREET; THENCE SOUTHERLY ALONG SAID SAID WEST RIGHT OF WAY LINE, SOUTH 00°34'06" WEST, 1423.17 TO THE POINT OF BEGINNING.

SAID LANDS LYING IN BREVARD COUNTY, FLORIDA AND CONTAINING 1082.242 ACRES, MORE OR LESS.

DESCRIPTION: BEING A PORTION OF LAND LYING IN SECTIONS 9 AND 16, TOWNSHIP 30 SOUTH, RANGE 37 EAST, BREVARD COUNTY FLORIDA, SAID LANDS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID SECTION 9; THENCE WESTERLY ALONG THE SOUTH LINE OF SAID SECTION 9, SOUTH 89°32'36" WEST, 50.01 FEET TO THE POINT OF BEGINNING, SAID POINT BEING ON THE WEST RIGHT OF WAY LINE OF BABCOCK STREET AS DESCRIBED IN O.R.B. 423, PAGE 262 OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA; THENCE SOUTHERLY ALONG SAID WEST RIGHT OF WAY LINE OF BABCOCK STREET, SOUTH 00°34'06" WEST, 1225.02 FEET; THENCE NORTH 88°26'54" WEST, 873.58 FEET; THENCE NORTH 01°31'07" WEST, 1315.56 FEET; THENCE NORTH 90°00'00" EAST, 918.01 FEET TO THE AFOREMENTIONED WEST RIGHT OF WAY LINE OF BABCOCK STREET; THENCE SOUTHERLY ALONG SAID WEST RIGHT OF WAY LINE OF BABCOCK STREET, SOUTH 01°08'35" EAST, 113.83 FEET TO THE POINT OF BEGINNING.

SAID LANDS LYING IN BREVARD COUNTY, FLORIDA AND CONTAINING 27.33 ACRES (MORE OR LESS).

Parcel Id. No.:

30-37-08-HF-500

30-37-16-00-1

30-37-09-00-500

30-37-17-HF-1

Owner:

JEN Florida 48 LLC

1750 W. Broadway, Suite 111

Oviedo, FL 32765

Developer:

SunTerra Communities, Inc.

1750 W. Broadway, Suite 111

Oviedo, FL 32765

407.542.4909

Applicant:

Poulos & Bennett, LLC

2602 E. Livingston Street

Orlando, FL 32803

407.487.2594

Sheet Index		Subm./Rev.						
Sheet Id.	Sheet Title	-	1	2	3	4	5	6 7
C0.00	Cover Sheet	■	■	■				
C1.00	Existing Conditions Plan	■	■	■				
C2.00	Land Use Plan	■	■	■				
C3.00	Open Space And Phasing Plan	■	■	■				
C4.00	Land Use Tables, Waivers & Details	■	■	■				

Date	Description
-	10/20/2023
1	5/14/2024
2	5/20/2024
3	7/25/2024

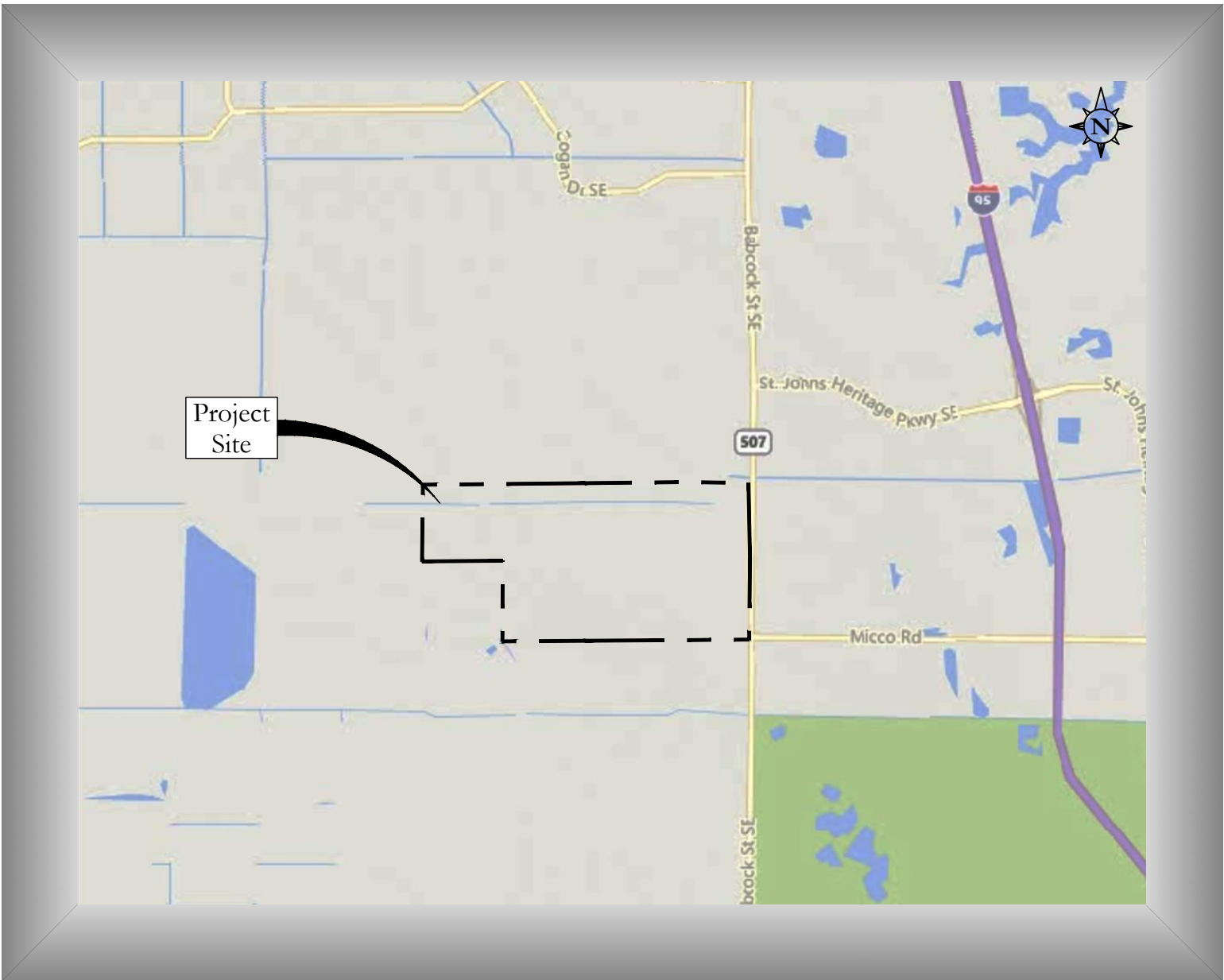
Utility Providers

Electric: Florida Power & Light Company 9001 Ellis Rd Melbourne, FL 32904 800.778.9140	Telephone: AT & T Distribution 6021 Rio Grande Ave Orlando, FL 32809 561.683.2729	Water, Sewer and Reuse: City of Palm Bay Utilities Department 120 Malabar Rd Palm Bay, FL 32907 321.952.3420
CATV: Charter Communications 2551 Lucien Way Maitland, FL 32751 800.778.9140	Fiber: Uniti Fiber LLC 805 Executive Center Dr W St. Petersburg, FL 33702 877.652.2321	

Consultants

Civil Engineer: Poulos & Bennett, LLC 2602 E. Livingston Street Orlando, FL 32803 407.487.2594	Surveyor: Caulfield & Wheeler, Inc. 7900 Glades Road Suite 100 Boca Raton, FL 33432 561.392.1991	Environmental: Bio-Tech Consulting Inc. 3025 E. South Street Orlando, FL 32803 407.894.5969
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Geotechnical Engineer: Yovaish Engineering Services, Inc. 953 Sunshine Lane Altamonte Springs, FL 32714 407.774.9383	Transportation: Kimley-Horn 200 S. Orange Avenue, Suite 600 Orlando, FL 32801 407.409.7006
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Vicinity Map

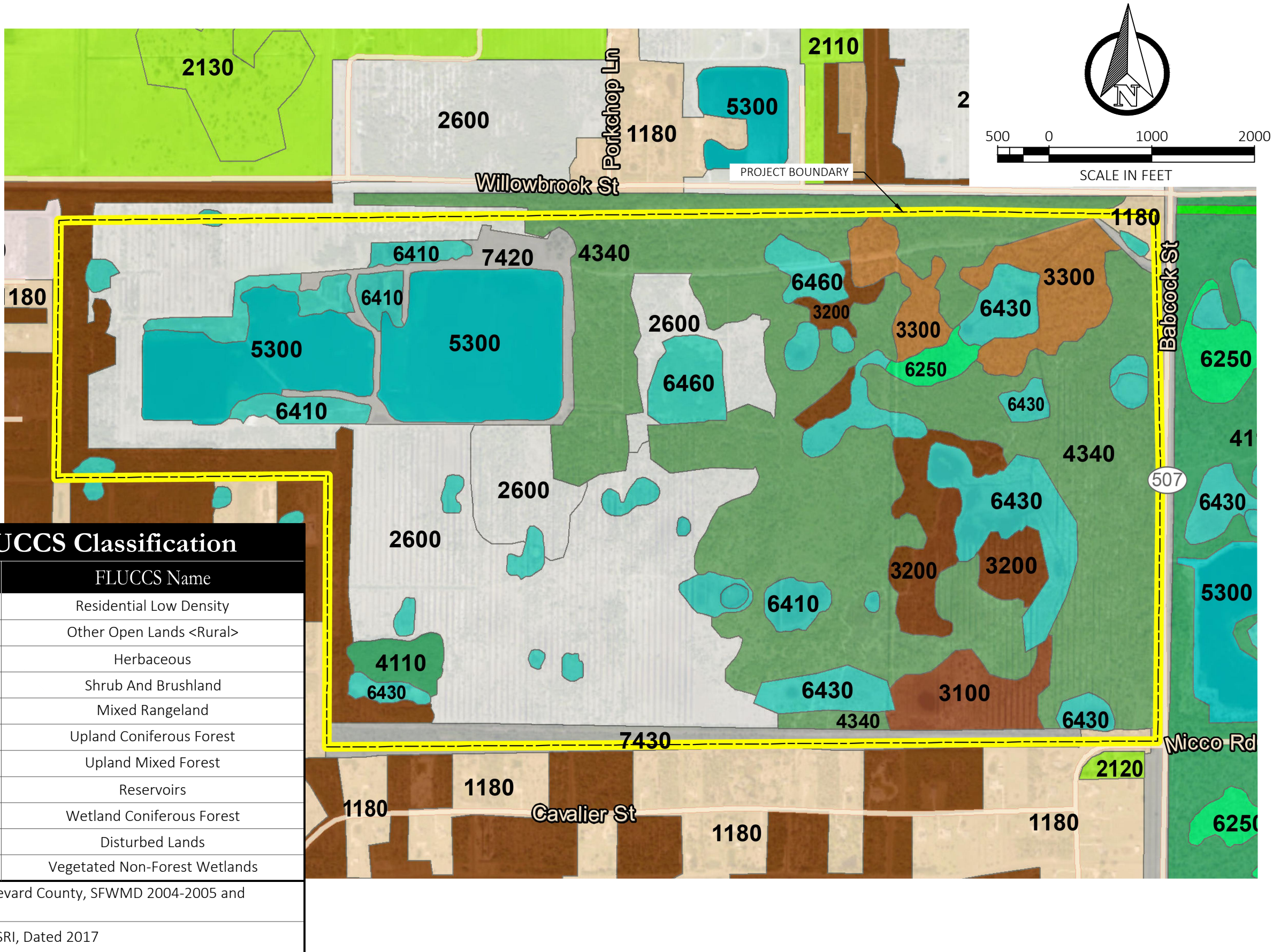
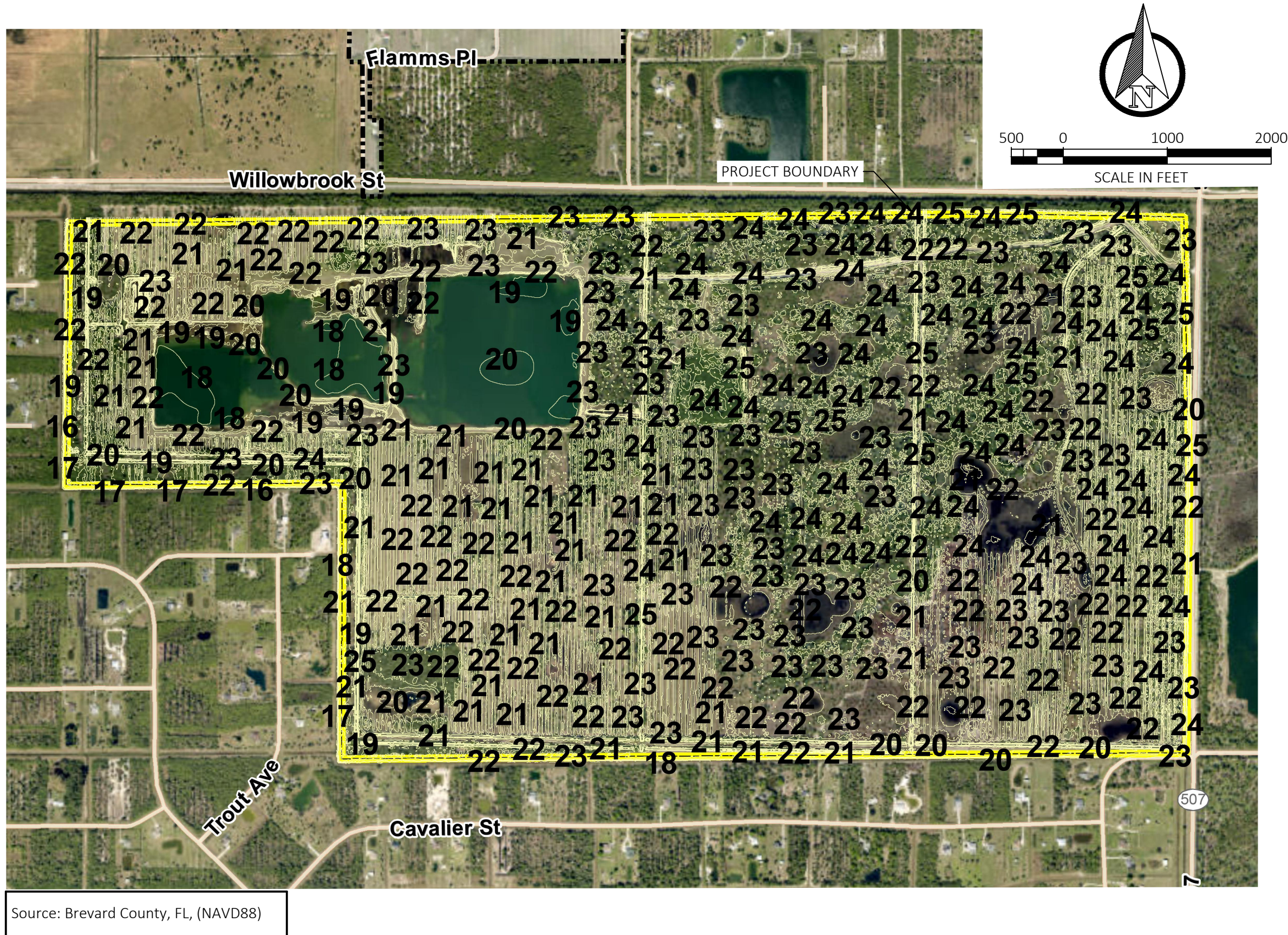
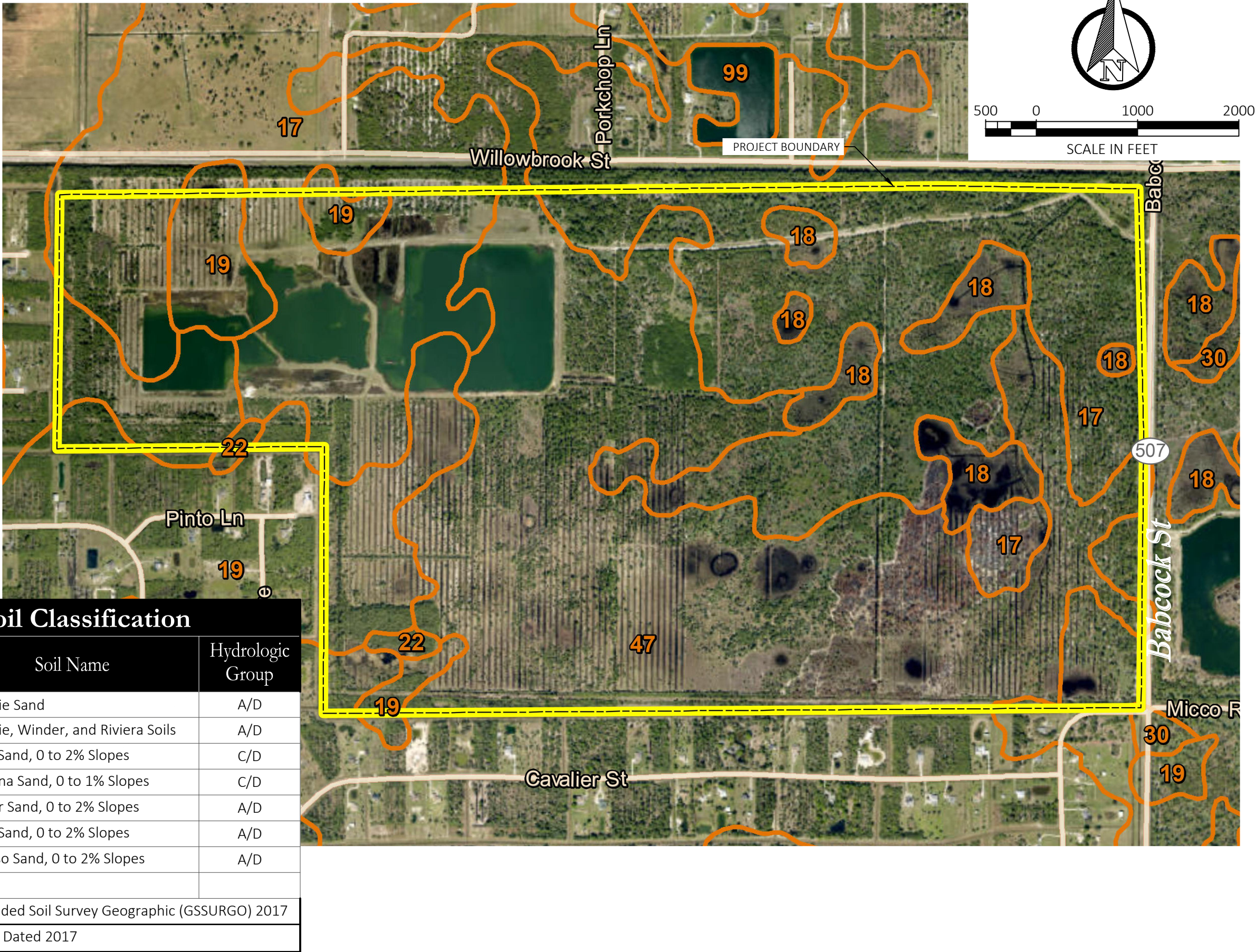
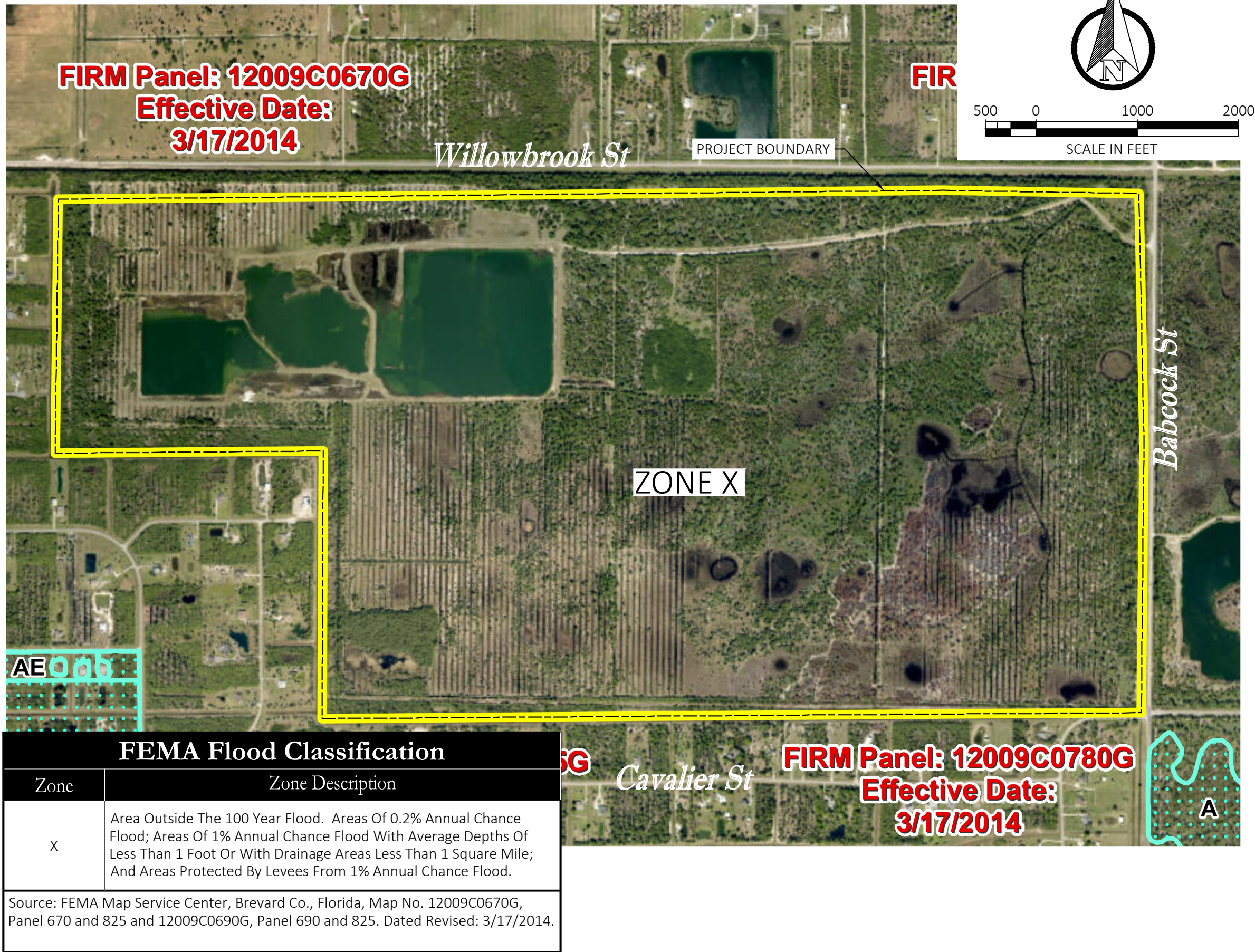
Scale: 1" = 5,000'



These drawings are Preliminary and are for Brevard County use only to conform to County submittal requirements and are not authorized for any other use. These drawings are not final and are not intended for permit, construction or bidding purposes.



2602 E. Livingston St., Orlando, FL 32803
Tel. 407.487.2594 www.poulosandbennett.com
Eng. Bus. No. 28567
P&B Job No.: 23-081



Key Map:

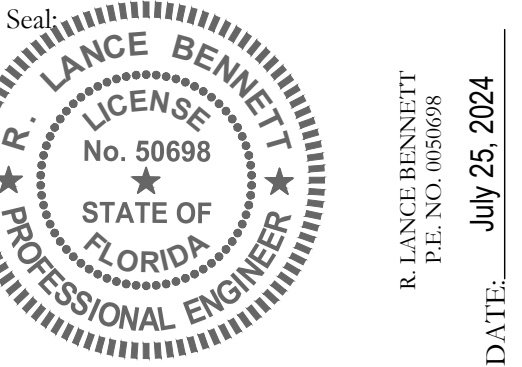
3	07/25/2024	Submit to Brevard County
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VERTICAL DATUM:		NAVD 88
JOB NO.:		23-081
DESIGNED BY:		DG
DRAWN BY:		DG
CHECKED BY:		J.A.
APPROVED BY:		RLB
SCALE IN FEET:		1" = 1000'
Project Name:		

Sun Terra Lakes

Jurisdiction:
Brevard County, FL

Sheet Title:
**EXISTING
CONDITIONS PLAN**

Sheet No.:
C1.00

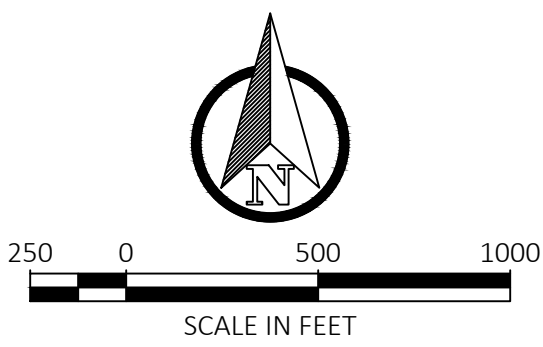
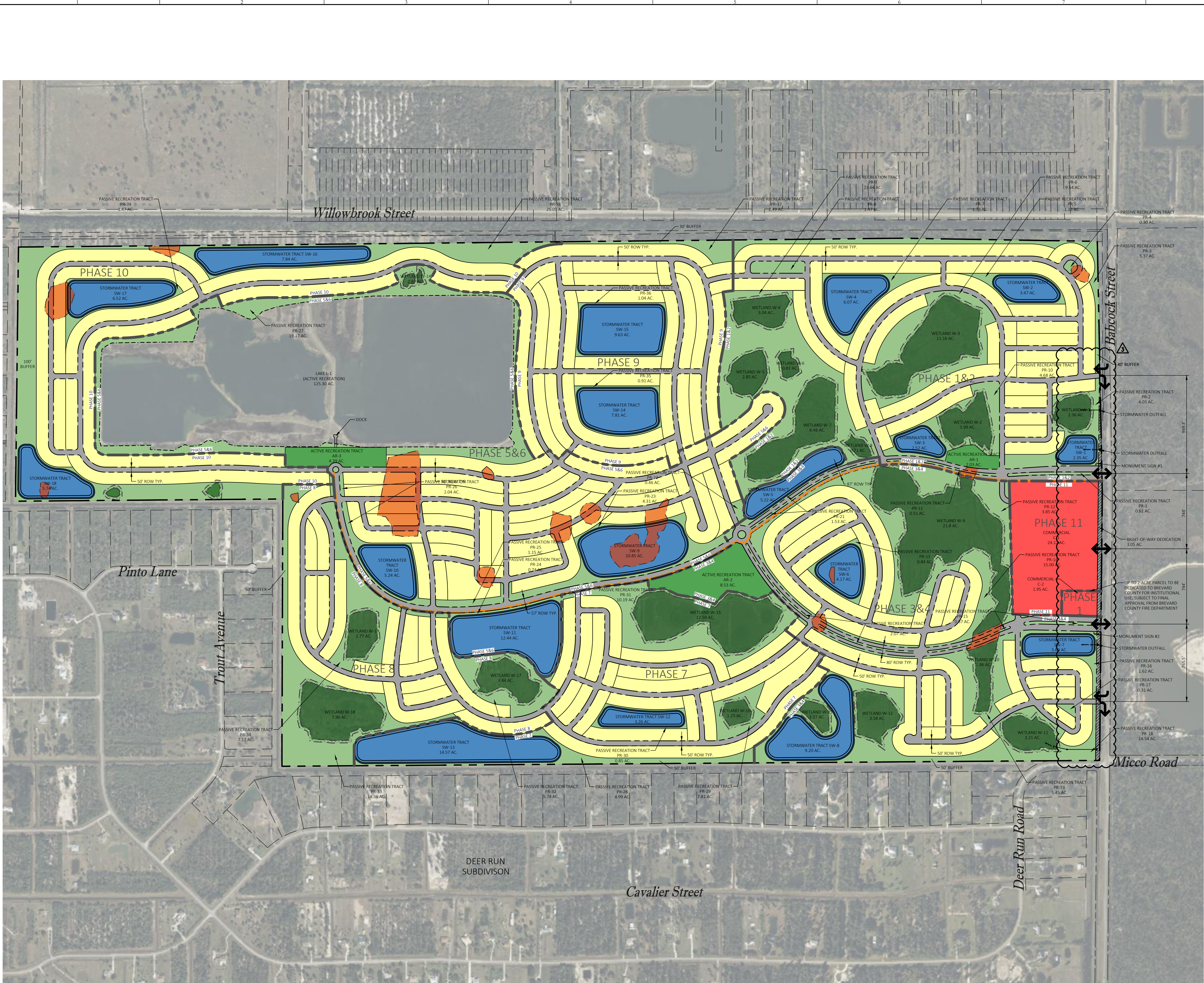


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Z:\2023\23-081 SUN TERRA - BREVARD CO MIXED USE\CAD\PRELIMINARY\PD\23-081-PD-LUP



LEGEND

- Project Boundary (Survey)
- 12' Multi-Use Trail
- Residential
- Passive Recreation
- Active Recreation
- Wetland
- Impacted Wetland
- Stormwater
- Lake (Active Recreation)
- Full Access Point
- Right In/Out

Development Data	
Jurisdiction	Unincorporated Brevard County
Future Land Use	Residential (1,080.42 acres) & Community Commercial (26.1 acres)
Zoning (Proposed)	PUD
Site Details ^{4,5}	
Gross Site Area	1109.57 Acres
Gross Residential Area	1080.42 Acres
Gross Commercial Area	26.10 Acres
ROW Dedication	3.05 Acres
Total Impacted Wetlands*	19.90 Acres
Developable Area	1024.23 Acres
Developable Residential Area	985.08 Acres
Developable Commercial Area	26.10 Acres
Common Recreation & Open Space Required (10% of Gross Residential Area)	108.04 Acres
Common Recreation & Open Space Provided ¹¹	475.06 Acres
Active Recreation Required ¹¹ (1.5 acres per 100 units)	48.62 Acres
3,241 (200)*1.5 = 48.69 acres	
Active Recreation Provided ¹¹	140.07 Acres
Passive Recreation Provided ¹¹	334.99 Acres
Stormwater Provided ¹¹	35.65 Acres
Wetlands ¹¹	95.34 Acres
Passive Recreation Tracts ¹¹	204.00 Acres
Proposed Residential Development	
Maximum Allowable Dwelling Units	3241 Units
Maximum Allowable Gross Residential Density	3.00 DU/Ac
Proposed Commercial Development	
Maximum allowable commercial square feet in Commercial Tract C-1	398,000 Sq. ft

Notes

1. See waiver # 5, requesting lake acreage to be included as active recreation.

2. Stormwater provides only 1/3 of the required Common Recreation & Open Space acreage. Any stormwater tracts included in the required Common Recreation & Open Space acreage will be improved with amenities, such as central recreation centers with pools, walking trails, fitness equipment, viewing docks, benches, or similar improvements. If used for passive or active recreation, the recreational facilities in stormwater tracts shall not conflict with the regulatory requirements of the drainage system including the operation and maintenance of the drainage facility. Additionally, they shall comply with ADA and FHA requirements, including but not limited to providing accessible routes to site amenities.

3. Wetlands are included in the Total Provided Passive Recreation, in accordance with LDR Sec. 62-1102.

4. The developer shall dedicate a 2-acre parcel to the County.

5. Any alternative development standards not addressed in this Preliminary Development Plan shall revert back to the PUD standards.

6. Common Open Space is integrated throughout the planned development providing a linked recreational and open space system. Sidewalks are depicted on typical ROW sections and are throughout the development.

¹¹The provided acreages are subject to change and will be determined on the Final Development Plan. The Final Development Plan shall adhere to the minimum required acreages for Common Recreation & Open Space set forth in LDR sections 62-1446 and 62-1102.

¹²The required active and passive recreation acreages are calculated by the maximum allowable 3,241 dwelling units (3 dwelling units per gross residential acre). The required active and passive recreation acreages are subject to change, per the actual amount of residential units developed. The required active and passive recreation acreages shall adhere to the minimum required acreages for Common Recreation & Open Space set forth in LDR sections 62-1446 and 62-1102. Any change which decreases the amount of common open space or decreases the amount of buffer areas from adjacent property or increases density or intensity of the project will be considered a substantial change requiring a PUD amendment approval by the Board of County Commissioners.

Key Map:

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SCALE IN FEET:		1" = 500'

Project Name:

Sun Terra Lakes

Jurisdiction:

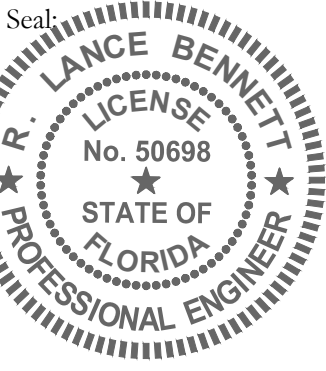
Brevard County, FL

Sheet Title:

LAND USE PLAN

Sheet No.:

C2.00

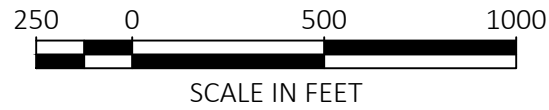
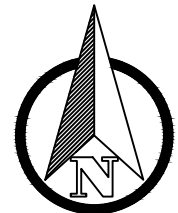


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Key Map:



LEGEND

- Project Boundary (Survey)
- 12' Multi-Use Trail
- 40'-50'-60'X120'+ Lots Allowed
- 60'X120'+ Lots Allowed

- Passive Recreation
- Active Recreation
- Wetland
- Impacted Wetland
- Stormwater
- Lake (Active Recreation)



- Full Access Point
- Right In/Out
- Ingress / Egress onto Spine Roads

Phasing Plan*

Phase	Units
PHASE 1&2	
Number of Units	515 Lots
Passive Recreation	53.00 AC
Stormwater	14.41 AC
Active Recreation	2.03 AC
Wetlands	33.40 AC
Impacted Wetlands	0.93 AC
PHASE 3&4	
Number of Units	447 Lots
Passive Recreation	46.28 AC
Stormwater	22.19 AC
Active Recreation	8.35 AC
Wetlands	31.69 AC
Impacted Wetlands	2.49 AC
PHASE 5&6	
Number of Units	513 Lots
Passive Recreation	27.87 AC
Stormwater	28.53 AC
Active Recreation	4.39 AC
Wetlands	0.37 AC
Impacted Wetlands	13.24 AC
Lake (Active Rec)	125.30 AC
PHASE 7	
Number of Units	404 Lots
Passive Recreation	18.84 AC
Stormwater	17.83 AC
Wetlands	13.84 AC
PHASE 8	
Number of Units	271 Lots
Passive Recreation	27.18 AC
Wetlands	14.39 AC
PHASE 9	
Number of Units	516 Lots
Passive Recreation	4.44 AC
Stormwater	17.44 AC
PHASE 10	
Number of Units	462 Lots
Passive Recreation	26.50 AC
Stormwater	20.10 AC
Impacted Wetlands	3.24 AC

*Phase lot counts are estimates. Final number of lots per phase will be determined through final construction plans provided the number of lots does not exceed the maximum 3,241.

3 07/25/2024 Submit to Brevard County

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1 05/14/2024 Submit to Brevard County

- 10/27/23 Submit to Brevard County

NO. DATE DESCRIPTIONS

SUBMISSIONS/REVISIONS

VERTICAL DATUM: NAVD 88

JOB NO.: 23-081

DESIGNED BY: DG

DRAWN BY: DG

CHECKED BY: JA

APPROVED BY: RLB

SCALE IN FEET: 1" = 500'

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Sun Terra Lakes

Jurisdiction:

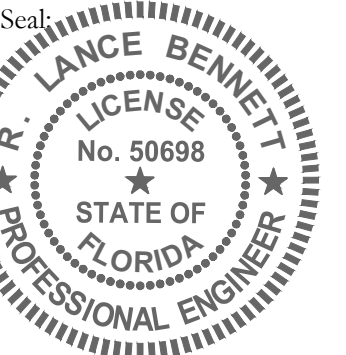
Brevard County, FL

Sheet Title:

OPEN SPACE AND PHASING PLAN

Sheet No.:

C3.00



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Z:\2025\23-081 SUN TERRA - BREVARD CO MIXED USE\DAO\PRELIMINARY\PD\23-081-PD-TYPICAL DETAILS AND NOTES

Land Use Table

1. Development Acreage Summary

Total Site Area: 1,109.57 acres

Residential Land Use Summary

Residential Acreage	Units Allowed (per Residential 4 Future Land Use Density, 4 units per gross acre)		Units Allowed (per PUD maximum allowable density, 3 units per gross acre)	
	Future Land Use Designation	Total Allowed Units	Maximum Allowable Density, Per PUD	Maximum Allowable Dwelling Units
Gross Residential Area: 1,080.42 acres	4.0 du/ac	4322	3.00 du/ac	3241

Commercial Land Use Summary

Commercial Acreage	Commercial Sq. Ft. Allowed (Per Community Commercial Future Land Use, 1.0 FAR)		Commercial Sq. Ft. Allowed (Per PUD maximum allowable intensity, 0.25 FAR)	
	Future Land Use Designation	Total Allowable Commercial Sq. Ft.	Proposed Density	Proposed Allowable Commercial Sq.
Gross Commercial Area: 26.1 acres	1.00 FAR	1,136,916	0.35 FAR	398,000

2. Proposed Future Land Use

Residential 4 (1,080.42 acres) & Community Commercial (26.1 acres)

3. Existing Zoning

General Use (GU) & Agricultural Residential (AU)

4. Proposed Zoning

Planned Unit Development (PUD)

5. Residential Standards

Detached Single-Family Lots			
	40' SF Lots ¹	50' SF Lots	60' SF Lots
Minimum Lot Area (sq. ft.)	4,400	5,500	6,600
Minimum Floor Area (sq. ft.)	1,100	1,100	1,100
Minimum Lot Width (ft.)	40	50	60
Minimum Lot Depth (ft.)	110	110	110
Front Yard ² (ft.)	20	20	20
Side Yard (ft.)	5	5	5
Accessory Structure Side Yard (ft.)	5	5	5
Rear Yard ^{3,6} (ft.)	15	15	15
Accessory Structure Rear Yard (ft.)	5	5	5
Corner Yard ⁴ (ft.)	15	15	15
Accessory Structure Corner Yard (ft.)	15	15	15
Minimum Building Separation ⁵ (ft.)	10	10	10
Maximum Height (ft.)	35	35	35
Maximum Impervious Surface Ratio (%)	75	75	75

Residential Standards Notes

- See waiver # 1 for the 40' lots.
- A 10 ft. setback shall apply to front porches.
- Screened porches may be set back not less than 10 ft. from the rear property line.
- Waiver # 3 is requested for the minimum building seperation for residential structures, from 15' for structures two stories or less to 10' for structures two stories or less.
- Waiver # 6 is requested for the minimum required rear yard setback from 20' to 15'.
- Residential driveways shall accommodate 2 vehicles.

6. Permitted Uses & Use Standards in the Residential Area

Permitted Uses: Single-Family Detached Dwelling Units, Group Homes (Level 1), Accessory Structures, Recreational Amenities and Accessory Structures, Home Occupations.

7. Commercial Standards¹

Minimum Floor Area (sq. ft.)	300
Minimum Lot Area (sq. ft.)	7,500
Minimum Lot Width (ft.)	75
Minimum Lot Depth (ft.)	100
Front Yard (ft.)	25
Side Yard (ft.)	5
Rear Yard ² (ft.)	15/5
Maximum Height ^{3,4} (ft.)	45
Corner Yard (ft.)	15
Minimum Building Separation ⁵ (ft.)	15
Maximum Impervious Surface Ratio (%)	90

Commercial Standards Notes

- The maximum allowable commercial square feet permitted in Commercial Tract C-1 is 398,000 sq. ft. (0.35 FAR).

8. Permitted Uses & Use Standards in Commercial Tract C-1

Permitted uses, permitted uses with conditions, and conditional uses shall be in accordance with the BU-2 Zoning District and LDR Division 5 - Specific Criteria for Permitted Uses with Conditions and Conditional Uses, except for the following deviations.

- Fire Stations shall be permitted

9. Phasing Plan

See anticipated phasing on sheet C3.00. Phases shall be developed in sequential order. However, phase numbers may be adjusted or reassigned at any time through minor amendments.

10. Daily Trips

Land Use Description / ITE Code	Quantity	Daily Rate Trips Per Unit	Total Generated Daily Trips	Basis of Data
Single Family Detached (210)	3,241	7.64	24,799	ITE Trip Generation, 11 th Edition
Shopping Centers > 150k (820)	298k	37.01	11,030	
Mini-Warehouse (151)	100k	1.45	146	

11. Recreation

Recreation facilities shall be private for the use of community residents and owned and maintained by Home Owner's Association. Recreational amenities will be determined at Final Development Plan design.

12. Proposed Parking

Parking shall be provided per LDR Section 62-3206, with the exception of waiver # 2.

13. Water Service

City of Palm Bay Utilities

14. Wastewater Service

City of Palm Bay Utilities

15. Reclaimed Water Service

City of Palm Bay Utilities

16. Stormwater

The PUD will meet the requirements of Brevard County and the St. Johns River Water Management District for stormwater management.

17. Commercial Signage

Commercial Signage shall be in accordance with Article IX Signs.

18. Individual Lot Fences

Individual lot fences shall be constructed in accordance with LDR Sec. 62-2109 and LRD Article VIII.

19. Landscaping and Buffers

The PUD will provide an average 15' perimeter lot buffer around the residential area, with the exception of areas where residential lots abut the western and southern PUD perimeter, where a 50' lot buffer will be provided. A 15' wide Type B buffer will be provided along Babcock Street, including inside the Commercial Tract C-1.

20. Right-of-Way Design

Rights-of-Way shall be public

The minimum centerline radius for local roads shall be 50 feet.

The maximum dead-end street length for cul-de-sacs shall be 1,000 feet.

No gated roadways are proposed along the spine roads. If any gates are to be proposed off of spine roads, they will be subject to staff approval and will be private rights-of-way.

21. Stockpiling of Fill Material

Stockpiling of fill materials shall be in accordance with LDR Section 62-2101. For the purposes of LDR Section 62-2101, covered shall be defined as "stabilized by sod material or seed and mulch in such a manner as to prevent the distribution, by wind, of the fill material".

22. Access Management

Waiver # 4 is requested to reduce the amount of required access points.

23. Description of Drainage Design

Runoff will sheet flow off of the residential lots to the right-of-way, where it will be directed via curb and gutter to the gravity storm sewer system. The gravity storm sewer system conveys the stormwater runoff to the proposed wet detention ponds. At the Final Development Plan stage, it will be determined whether the ponds will be interconnected, cascading, or independent of each other. The discharge rate will be controlled via control structures. The ultimate outfall for the development will be the roadside swale on the west side of Babcock Street and the Sottile Canal.

24. Open Space Tracts

Stormwater Tracts		Passive Recreation		Active Recreation		Wetlands		Impacted Wetlands	
Tract #	AC	Tract #	AC	Tract #	AC	Tract #	AC	Tract #	AC
SW-1	2.35	PR-1	0.61	AR-1	2.03	W-1	2.36	IW-1	0.93
SW-2	3.47	PR-2	4.03	AR-2	8.35	W-2	3.99	IW-2	2.49
SW-3	2.52	PR-3	5.37	AR-3	4.39	W-3	11.16	IW-3	13.24
SW-4	6.07	PR-4	0.3	L-1	125.3	W-4	3.04	IW-4	0.7
SW-5	5.22	PR-5	1.12	Total	140.07	W-5	2.85	IW-5	2.54
SW-6	4.17	PR-6	9.54			W-6	0.81	Total	19.2
SW-7	3.6	PR-7	1.73			W-7	8.48		
SW-8	9.2	PR-8	1.47			W-8	0.71		
SW-9	10.85	PR-9	23.64			W-9	21.8		
SW-10	5.24	PR-10	4.68			W-10	2.86		
SW-11	12.44	PR-11	0.51			W-11	3.21		
SW-12	3.26	PR-12	3.85			W-12	3.58		
SW-13	14.57	PR-13	0.84			W-13	1.27		
SW-14	7.81	PR-14	15			W-14	0.87		
SW-15	9.63	PR-15	0.87			W-15	1.25		
SW-16	7.84	PR-16	1.62			W-16	12.59		
SW-17	6.52	PR-17	0.31			W-17	3.84		
SW-18	5.74	PR-18	14.54			W-18	7.9		
Total	120.5	PR-19	5.45			W-19	2.77		
		PR-20	2.07			Total	95.34		
		PR-21	1.53						
		PR-22	0.46						
		PR-23	4.31						
		PR-24	0.74						
		PR-25	1.15						
		PR-26	2.04						
		PR-27	19.17						
		PR-28	4.99						
		PR-29	2.81						
		PR-30	0.85						
		PR-31	10.19						
		PR-32	5.74						
		PR-33	14.36						
		PR-34	7.17						
		PR-35	0.91						
		PR-36	1.04						
		PR-37	2.49						
		PR-38	25.03						
		PR-39	1.47						
		Total	204						

WAIVERS

- A waiver from LDR Section 62-1446. (d). (1) to permit lots smaller than 5,000 square feet and less than 50 feet in width.

Justification for waiver #1: The Preliminary Development Plan depicts 40' wide lots, with a minimum lot area of 4,400 sq. ft. The Preliminary Development Plan exceeds the required common recreation and open space. While a buffer is not required along the northern, western, and southern property lines, the Preliminary Development Plan provides an average 15' perimeter lot buffer around the residential area, with the exception of areas where residential lots abut the western and southern PUD perimeter, where a 50' lot buffer will be provided. The smaller lot sizes allow the Preliminary Development Plan to exceed the common recreation and open space and buffer standards. In addition, the minimum floor area required in the PUD zoning is 900 sq. ft. for single-family detached units. The Preliminary Development Plan provides a minimum floor area of 1,100 sq. ft. for single-family detached units.
- A waiver to be exempt from LDR Section 62-1446. (g), requiring the designation of an outdoor parking area for campers, travel trailers, recreational trailers and vehicles, boats and boat trailers, and other similar vehicles.

Justification for waiver # 2: The Preliminary Development Plan is exceeding the requirements for common recreation and open space standards. Allocating space for the parking of campers, travel trailers, recreation vehicles, boats and boat trailers will decrease the provided amount of open space and recreation. In addition, outdoor parking of such vehicles and trailers is aesthetically unappealing.
- A waiver is requested from LDR Section 62-1446 (d) (3) (b) to allow residential structures, two stories or less, a minimum building seperation of 10', rather than 15', provided that proposed structures do not abut utility easements or otherwise affect the ability to provide and maintain utility service to each lot.

Justification for Waiver # 3: LDR Section 62-1446 (d) (3) (a) requires single-family lots, with less than 75' lot widths, to have a minimum 5' side setback. Where two lots, without side street setbacks, abut each other, the minimum required distance between the two lots will be 10'. In addition, the required minimum building seperation of 10' for structures two stories or less is consistent with the RPUD Zoning District.
- A waiver from LDR Section 62-2957 (c) (1) to permit ingresses/egresses connecting to spine roads from internal subdivisions within the development to count toward qualifying entrances.

Justification for Waiver # 4: The two spine roads that stem throughout the central portion of the property from Babcock westward provide for local road access for future subdivisions of this property. The PUD itself is not a subdivision. Each subdivision within this development will either have direct access to one of these two spine roads (which will be Public ROWs) or to Babcock Street. There are 17 full ingresses/egresses to the spine roads from the different phases of the development, providing connectivity throughout the project, which are demonstrated on Sheet C3.00. Additionally, there are two four-lane segments connecting to Babcock with full access, and another two right-in, right-outs onto
- A waiver from LDR Section 62-1102, Open Space, usable common (5) to include the lake acreage, Tract L-1, as active recreation.

Justification for Waiver # 5: A dock shall be provided on the south-adjacent active recreation tract, AR-3. The lake tract, L-1, shall be accessible to residents to use non-motorized watercraft, providing various opportunities for active recreation.
- A waiver from LDR Section 62-1446 (d) (3) (a) to reduce the minimum required rear yard setback from 20' to 15'.

Justification for Waiver # 6: The minimum floor area, per unit, for this PUD is 1,100 sq. ft., exceeding the code requirement of 900 sq. ft. Reduced setbacks permit larger housing products.

Key Map:

3	07/25/2024	Submit to Brevard County
2	05/30/2024	Submit to Brevard County
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NO.	DATE:	DESCRIPTIONS:
SUBMISSIONS/REVISIONS		
VERTICAL DATUM:		NAVD 88
JOB NO.:		23-081
DESIGNED BY:		DG
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CHECKED BY:		JA
APPROVED BY:		RLB
SCALE IN FEET:		N/A
Project Name:		

Sun Terra Lakes

Jurisdiction:

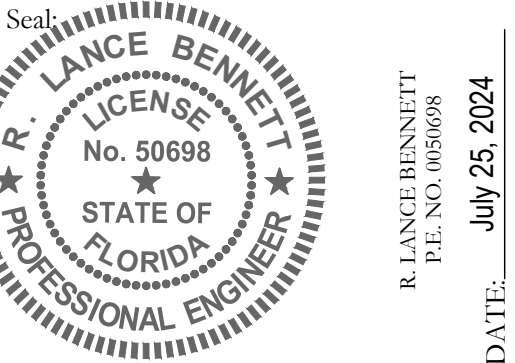
Brevard County, FL

Sheet Title:

LAND USE TABLES, WAIVERS, & DETAILS

Sheet No.:

C4.00

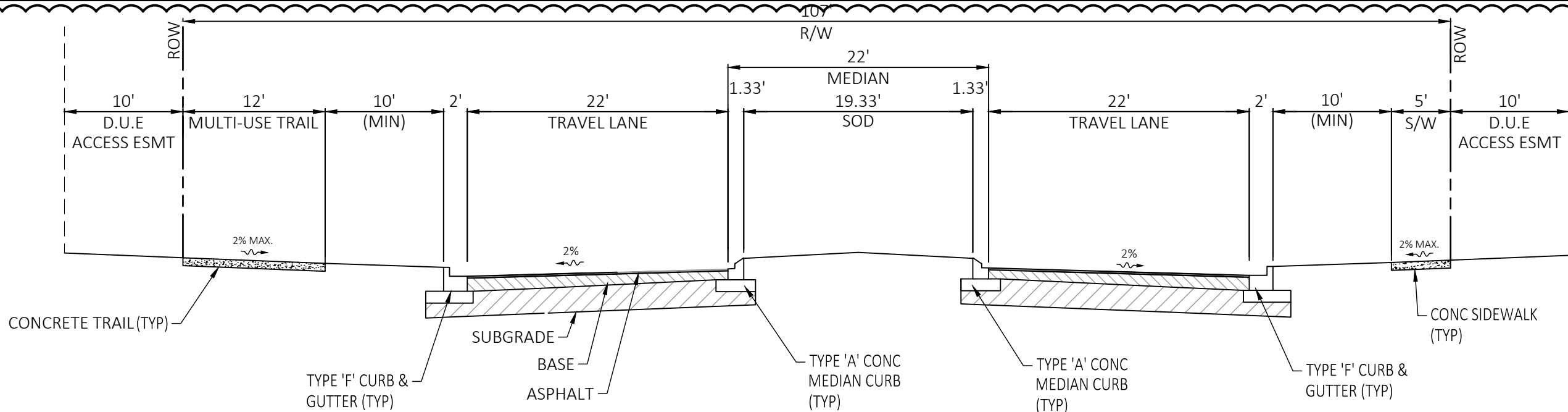
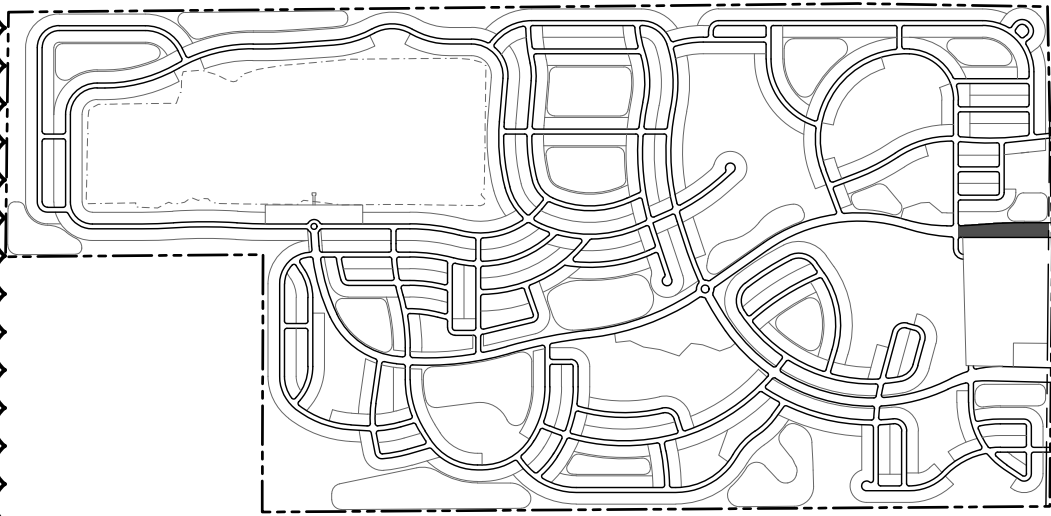


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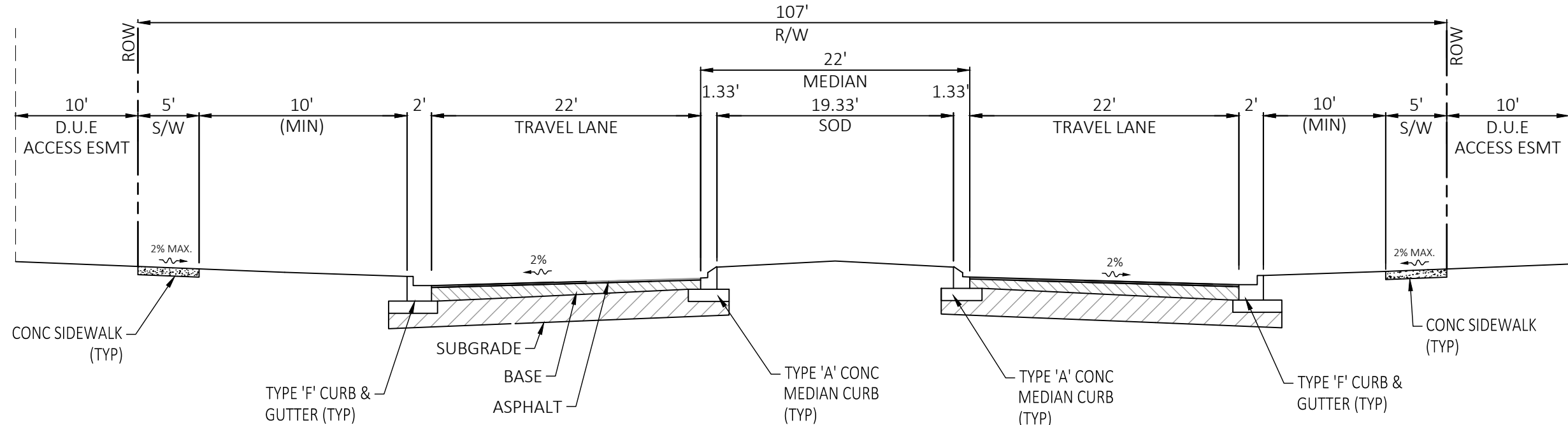
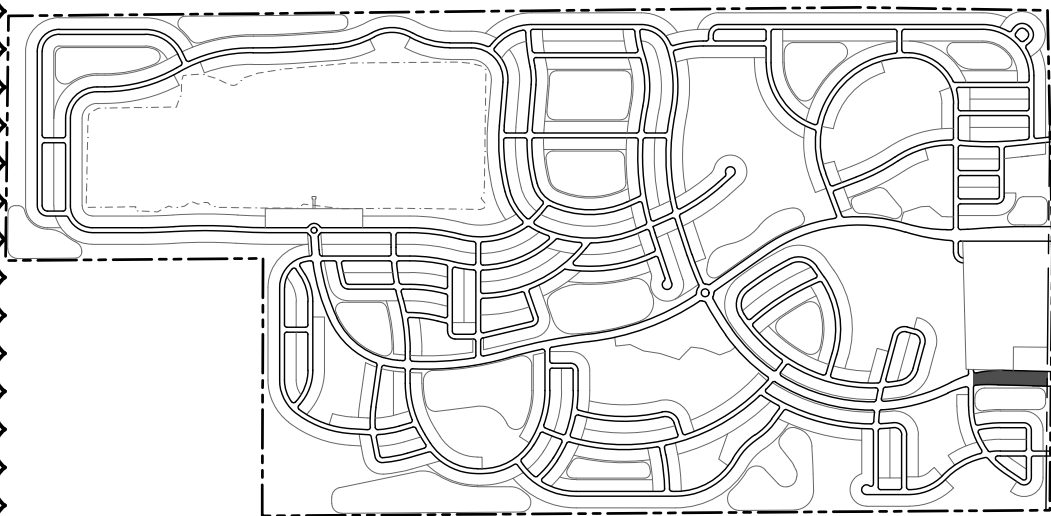


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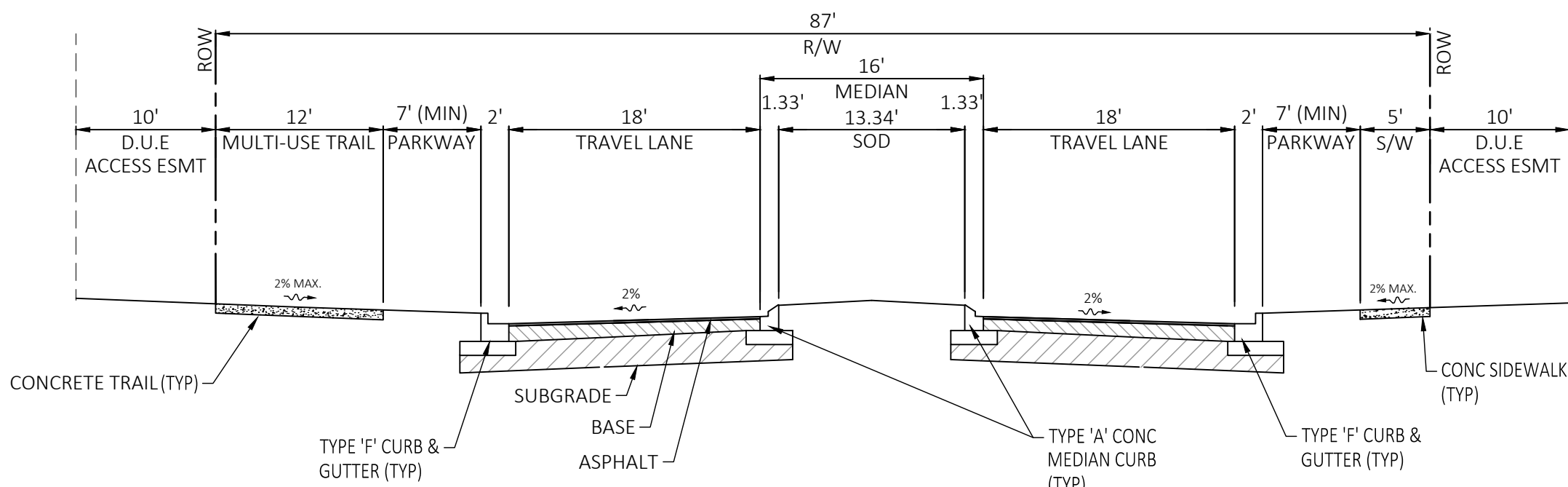
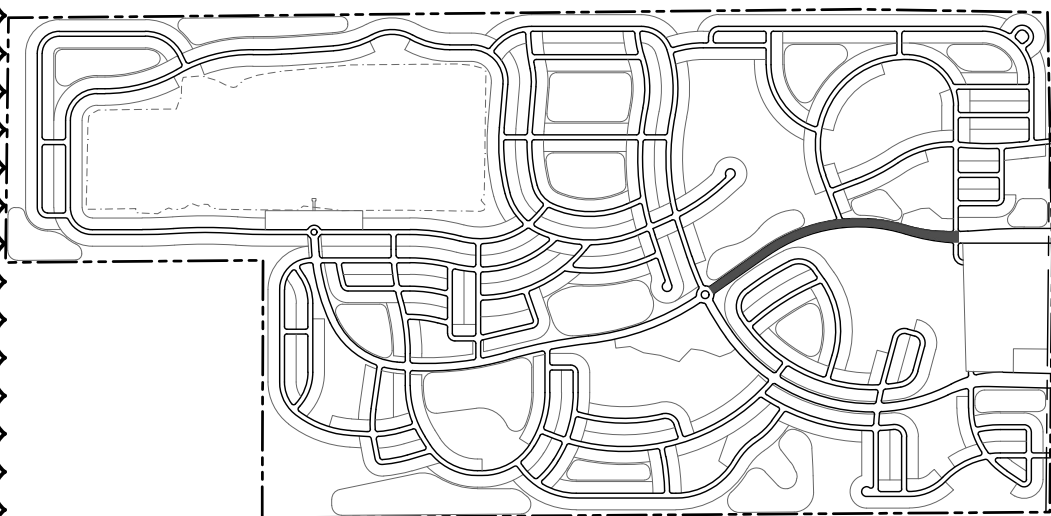
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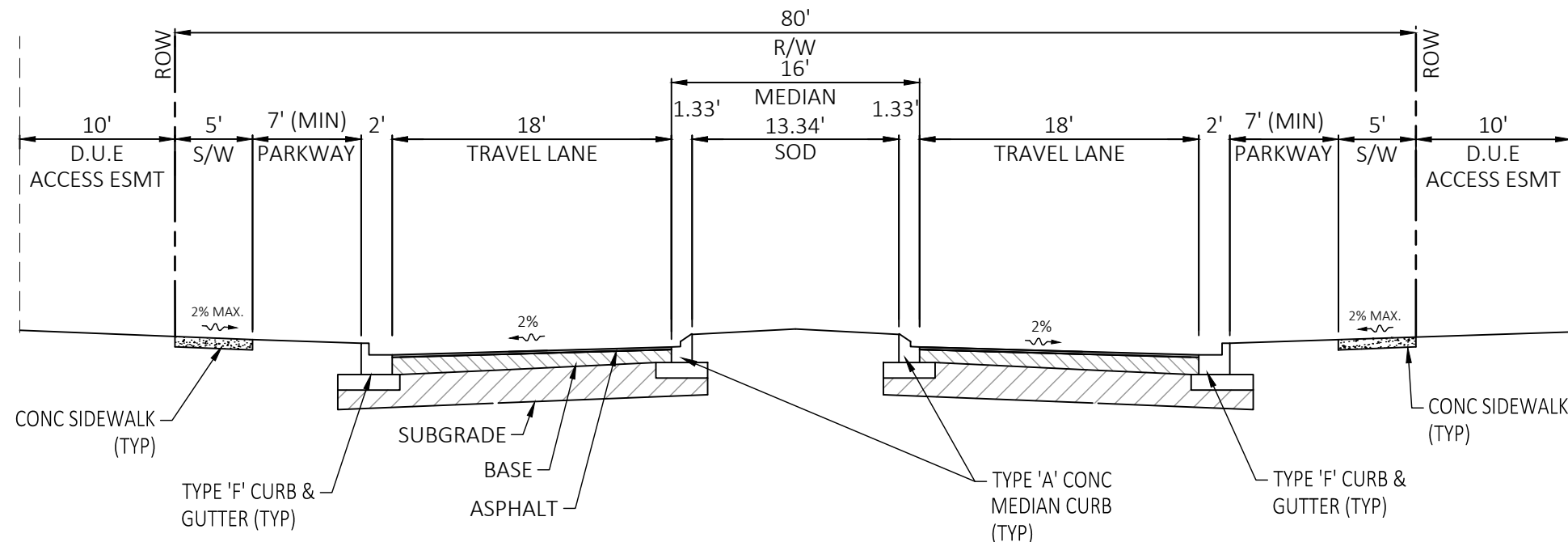
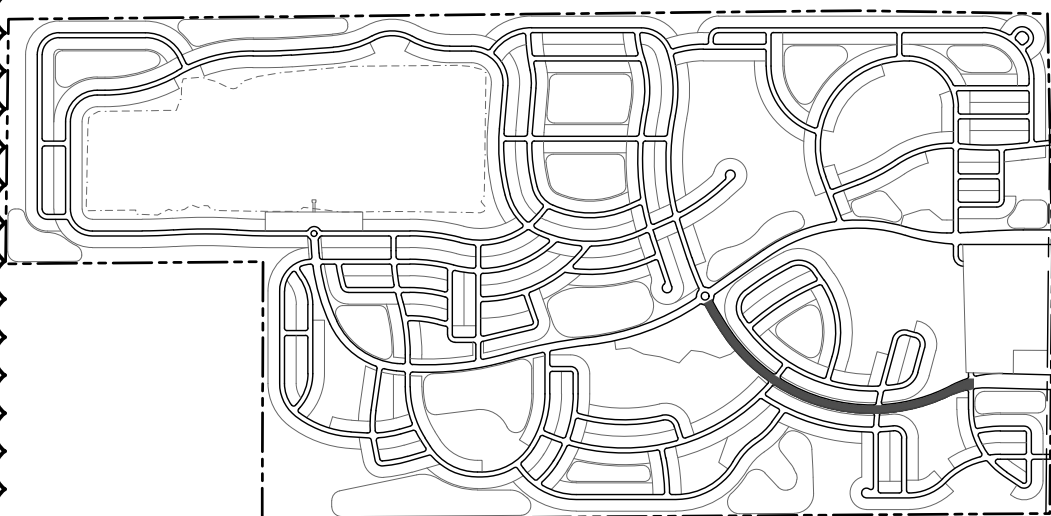
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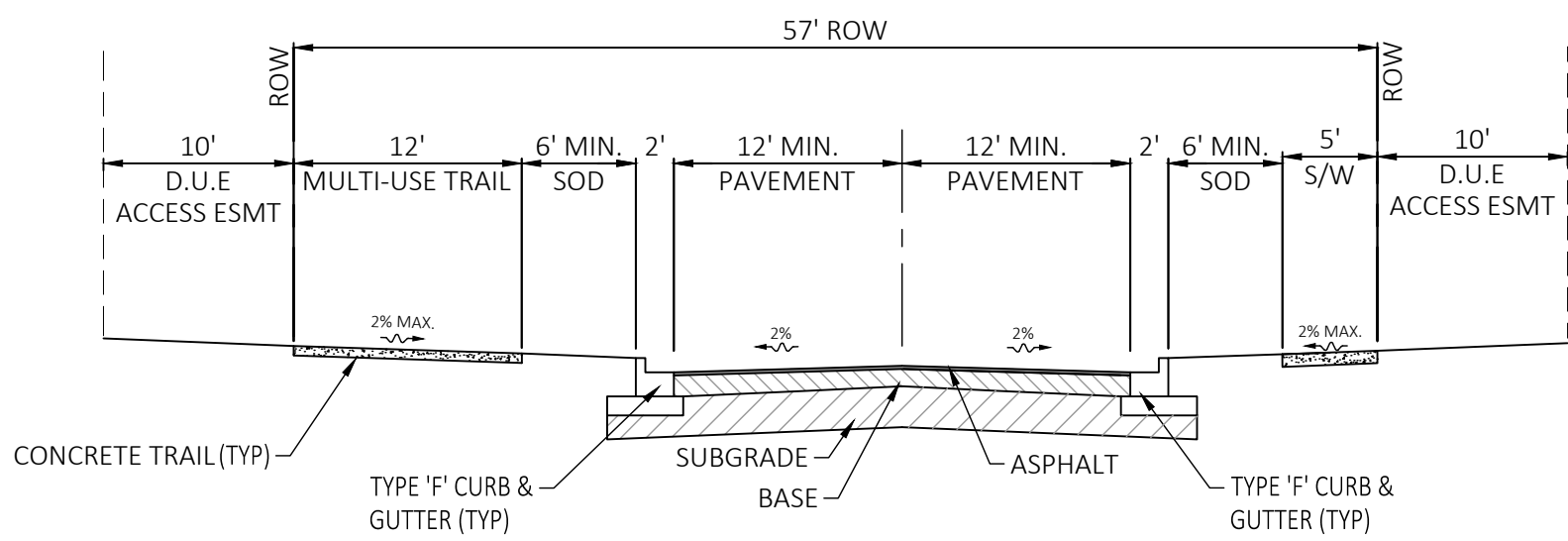
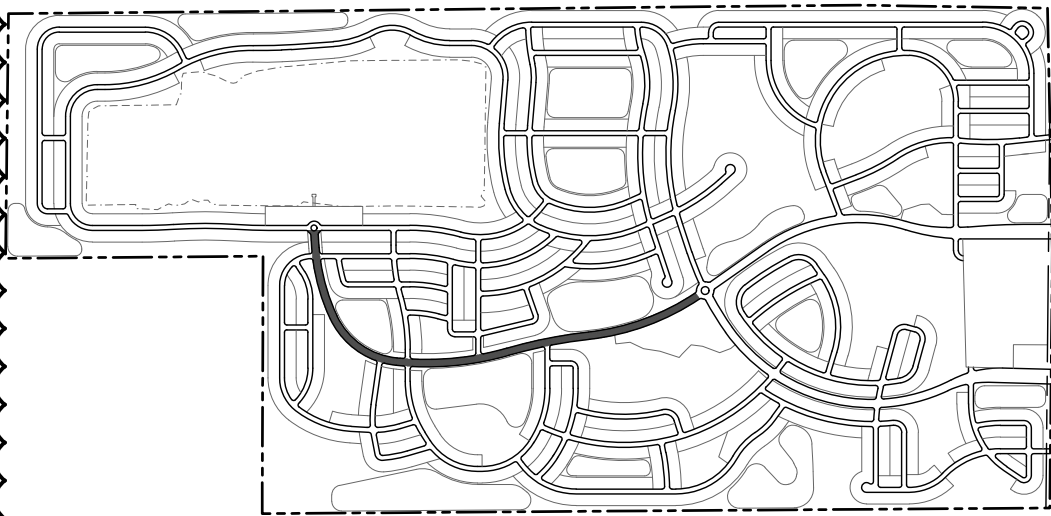
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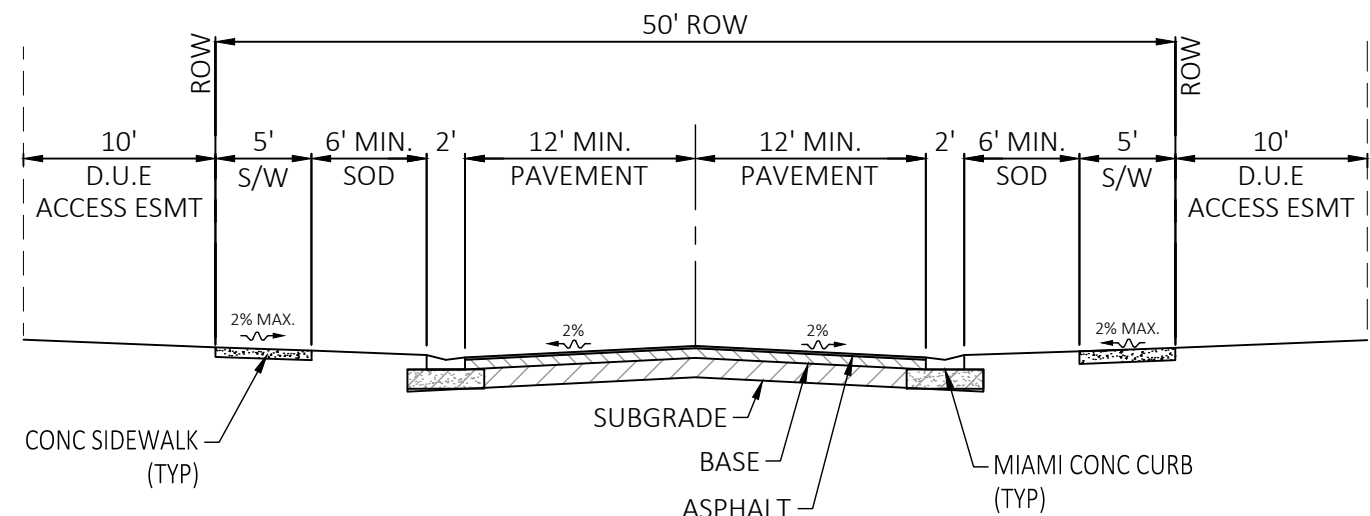
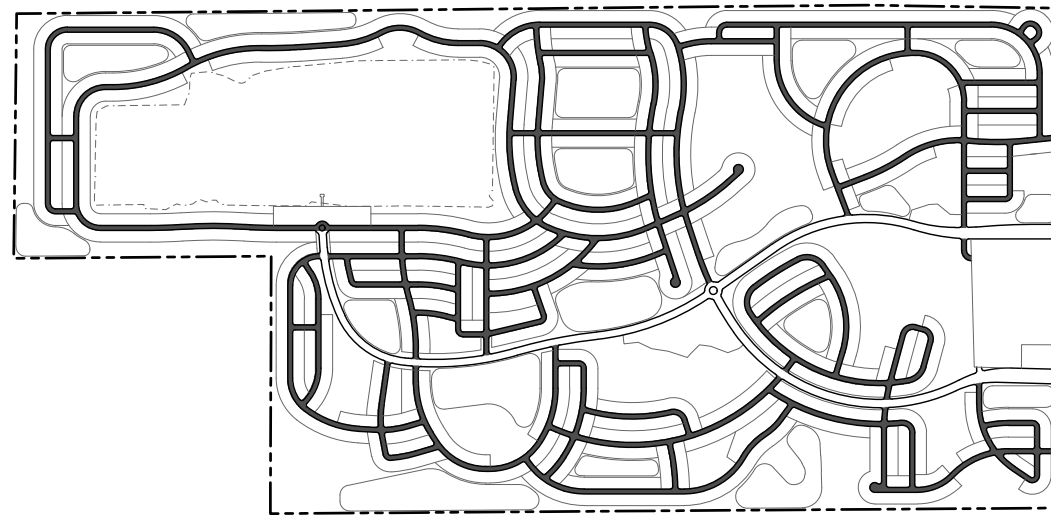
TYPICAL 87' R.O.W. W/TRAIL
N.T.S.



TYPICAL 80' R.O.W.
N.T.S.



TYPICAL 57' R.O.W.
N.T.S.



TYPICAL 50' R.O.W.
N.T.S.

NOTE: ALL CONSTRUCTION DETAILS ARE CONCEPTUAL AND SUBJECT TO MODIFICATION DURING THE APPROVAL OF FINAL CONSTRUCTION PLANS.

Key Map:

3 07/25/2024 Submit to Brevard County

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NO. DATE: DESCRIPTIONS:

SUBMISSIONS/REVISIONS

VERTICAL DATUM: NAVD 88

JOB NO.: 23-081

DESIGNED BY: DG

DRAWN BY: DG

CHECKED BY: JA

APPROVED BY: RLB

SCALE IN FEET: N.T.S.

Project Name:

Sun Terra Lakes

Jurisdiction:

Brevard County, FL

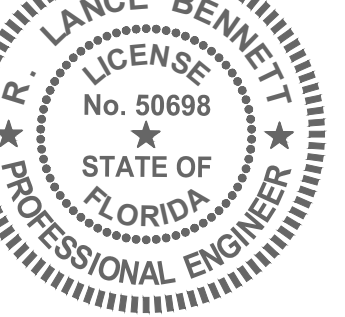
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LAND USE TABLES,
WAIVERS, & DETAILS

Sheet No.:

C4.01

Seal:

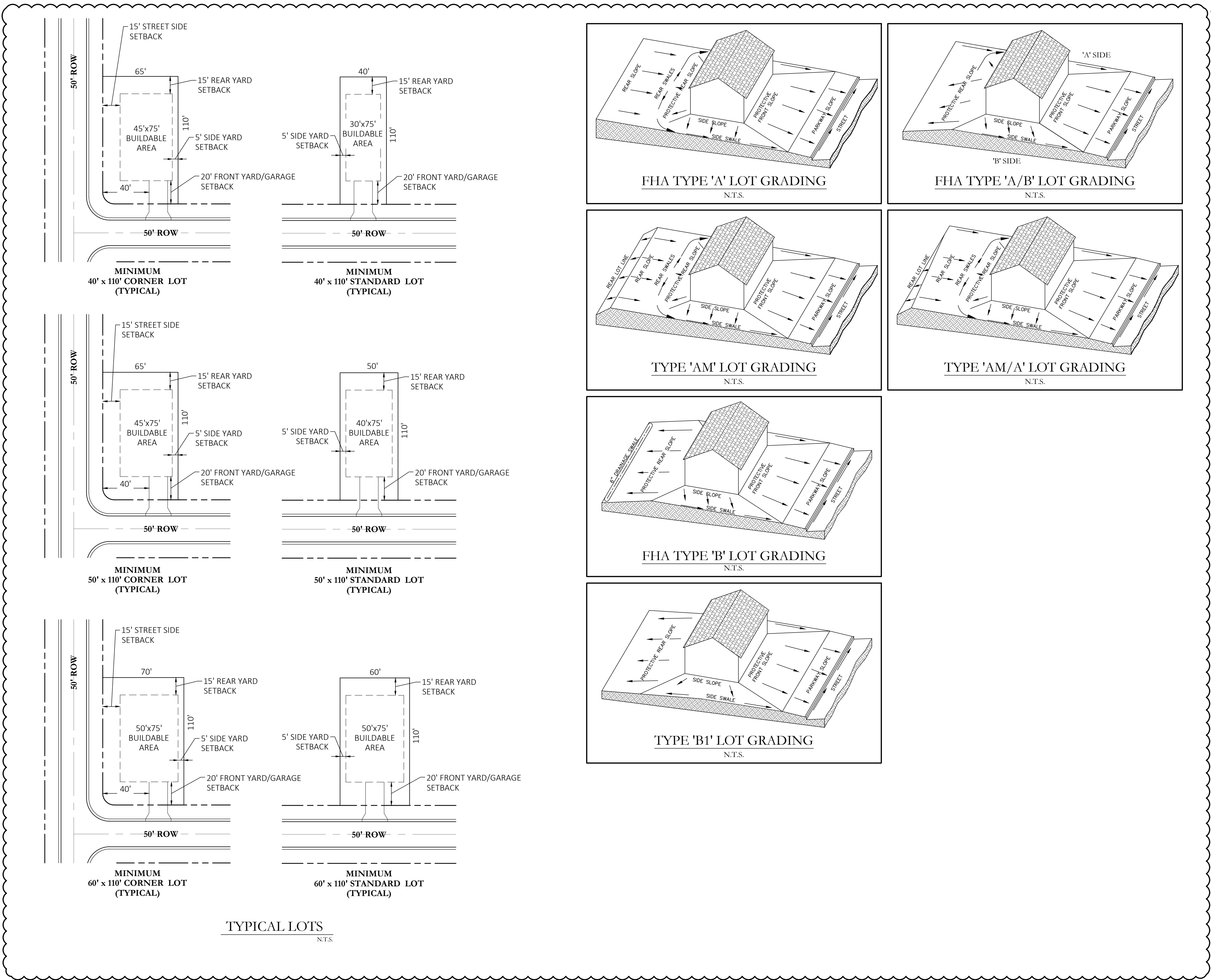


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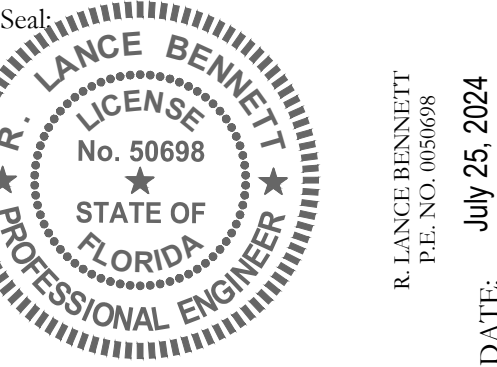
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Project Name:		

Sun Terra Lakes

Jurisdiction:
Brevard County, FL

Sheet Title:
LAND USE TABLES,
WAIVERS, & DETAILS

Sheet No.:
C4.02



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